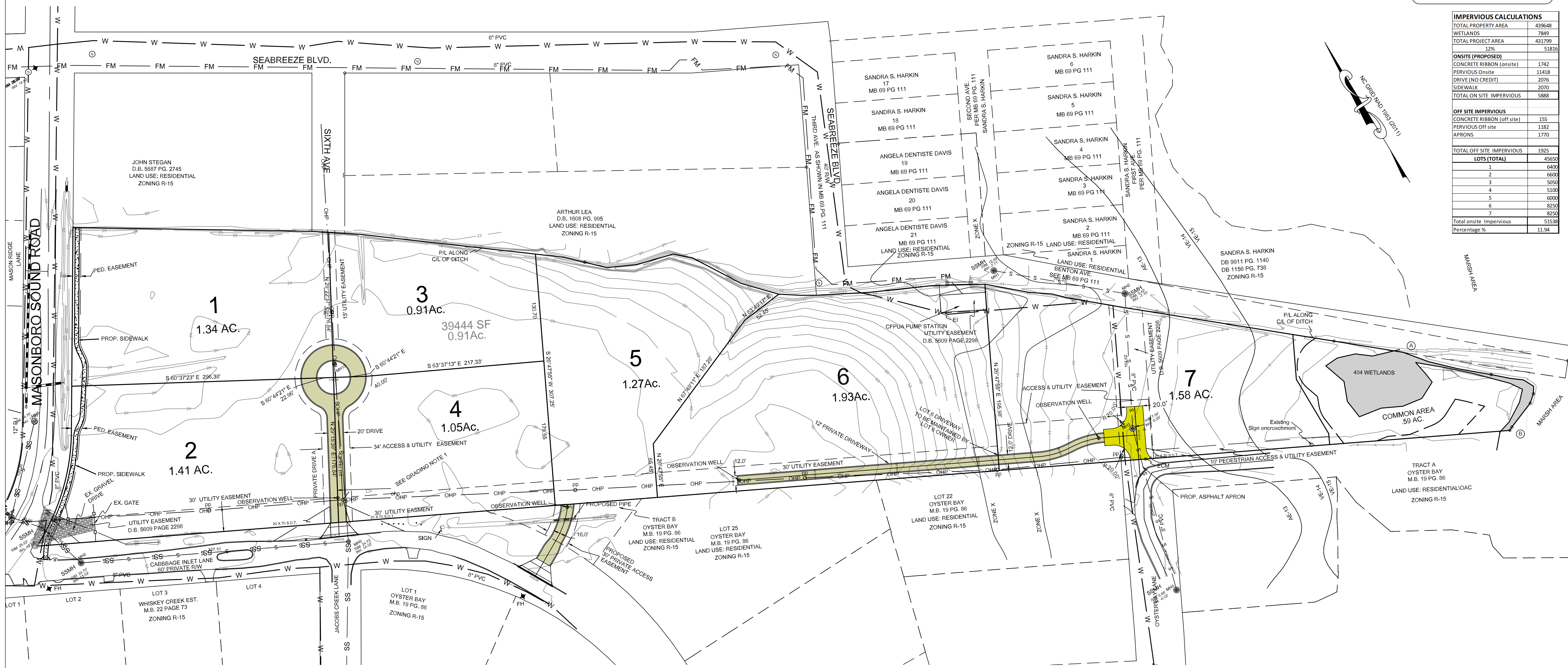


INDEX TO DRAWINGS	
SHEET No.	DESCRIPTION
1 OF 8	COVER SHEET
2 OF 8	EXISTING CONDITIONS
3 OF 8	SITE PLAN
4 OF 8	GRADING PLAN
D1 OF D3	DETAILS
D2 OF D3	DETAILS
D3 OF D3	DETAILS
L1 OF L1	LANDSCAPE PLAN

IMPERVIOUS CALCULATIONS	
TOTAL PROPERTY AREA	439648
WETLANDS	7849
TOTAL PROJECT AREA	431799
	51816
ONSITE (PROPOSED)	
CONCRETE RIBBON (onsite)	1742
PERVIOUS ON-SITE	11418
DRIVE (NO CREDIT)	2076
SIDEWALK	2070
TOTAL ON-SITE IMPERVIOUS	5888
OFF-SITE IMPERVIOUS	
CONCRETE RIBBON (off-site)	155
PERVIOUS OFF-SITE	1182
APRONS	1770
TOTAL OFF-SITE IMPERVIOUS	1925
LOTS (TOTAL)	45650
1	6400
2	6500
3	5925
4	5100
5	6000
6	8250
7	8250
Total onsite ImperVIOUS	51538
Percentage %	11.94



**LEGEND**

WV = WATER VALVE  
 WM = WATER METER  
 CIO = SANITARY SEWER CLEAN OUT  
 INV. = INVERT  
 B/O = BLOW OFF ASSEMBLY  
 BFP = BACK FLOW PREVENTOR  
 GW = GUY WIRE  
 SWMH = STORM MANHOLE

FH = FIRE HYDRANT ASSEMBLY  
 I.S. = IRON SET  
 S = SANITARY SEWER MH  
 T = TREE  
 T = TREE TO BE REMOVED  
 W = WATER SERVICE  
 S = SEWER CLEANOUT  
 W = WATER VALVE  
 S = SIGN LOCATION

PROPERTY LINE  
 BUILDING SETBACK  
 CENTERLINE  
 EASEMENT  
 COMPUTED PROPERTY LINE  
 EXISTING CONTOUR  
 SANITARY SEWER  
 DRIVE AREA COUNTED AS IMPERVIOUS  
 PROPOSED PERMEABLE DRIVE MATERIAL

**General Notes:**

- New Hanover County Parcel Nos.: PIE: R07200-002-006-000 MAPID: 314515.50.0584.000
- Project Tract Area: 10.00 ac ±
- CAMA Land Classification: Watershed Resource Protection

**SITE DATA:**  
 FLOOD ZONE: AE 13, AE 14/AE 15  
 COUNTY: NEW HANOVER  
 CID: 370171  
 PANEL: 3145  
 MAP NUMBER: 3720314500K  
 PANEL EFFECTIVE DATE: 5/28/2018

**Surface Waters:**  
 Stream Inlet: 18-37-25.7  
 Stream Name: Masonboro Sound ORW Area  
 Classification: SA/ORW  
 Date of Class.: December 31, 1989

River Basin: White Oak

**Tree Preservation Notes:**

- Tree Preservation / Removal Permit is required prior to clearing & land disturbance.
- Prior to any clearing, grading or construction activity, tree protection fencing will be installed around protected trees or groves of trees and no construction workers, tools, materials, or vehicles are permitted within the tree protection fencing.
- Protective fencing is to be maintained throughout the duration of the project. Land clearing and construction contractors shall receive adequate instruction on tree protection requirements and methods.
- Label protective fencing with signs to be placed every 50 linear feet, or at least two (2) per acre, in both English & Spanish "Tree Protection Area: Do Not Enter."

**UTILITY NOTES:**

Shown utilities are taken from CPFLA GIS, and all have not been field located.

- Existing water and sanitary sewer services are currently available to this site from Cape Fear Public Utility Authority public mains.
- Electric power is currently overhead supply. Overhead power to be buried by utility provider.
- All water & sewer utilities to be installed per CPFLA Technical Specifications & Standards.
- Project shall comply with CPFLA Cross Connection Control requirements. Water meter(s) cannot be released until all requirements are met and N.C.D.E.N.R. has issued their "Final Approval." Call 343-3910 for information.
- Any backflow prevention devices required by the CPFLA will need to be on the list of approved devices by USPC/COHR or ASSE.
- If contractor desires CPFLA water for construction, he shall apply in advance for this service and must provide a reduced pressure zone (RPZ) backflow prevention device on the developer's side of the water meter box.
- The contractor is responsible for the location and protection of existing utilities during construction. Call U-LOCO at 1-800-632-4949.
- Contractor is responsible for the repair and replacement of any utilities, curb & gutter, pavement, etc. that may be damaged during construction. Damaged items shall be repaired to at least the quality or workmanship found in the original item.
- Water and sewer service shall be independent service lines.

**Site Inventory Notes:**

- Soils Types: La(Lakeand Sand) (Lef Leom Sand) (Lef Lynn Heaven Fine Sand) (Muf(Marville Fine Sand)
- The site drainage flows into the interconnect wastewater SA-CORW.

**Stormwater Management Notes:**

- Stormwater management will meet City & State requirements.

**GENERAL NOTES:**

- INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES AT ALL CROSSINGS PRIOR TO COMMENCING TRENCH EXCAVATION. IF ACTUAL CLEARANCES ARE LESS THAN INDICATED ON PLAN, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. ANY CONDITION DISCOVERED OR EXISTING THAT WOULD NECESSITATE A MODIFICATION OF THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
- NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "NO ONE-CALL" AT LEAST 48 HOURS BEFORE COMMENCING CONSTRUCTION.
- ALL TREES WHICH ARE NOT REQUIRED TO BE CLEARED FOR CONSTRUCTION SHALL BE PRESERVED WHEREVER POSSIBLE UNLESS OTHERWISE DIRECTED.
- CONTRACTOR SHALL ADJUST ALL MANHOLES, VALVE AND CURB BOXES TO THE FINAL GRADE UPON COMPLETION OF ALL CONSTRUCTION. ANY BOXES DAMAGED OR OTHERWISE DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST AND EROSION DURING CONSTRUCTION AT HIS EXPENSE. PARKING AREAS SHALL BE WATERED TO CONTROL DUST WHEN ORDERED BY THE ENGINEER.
- NO GEOTECHNICAL TESTING HAS BEEN PERFORMED ON SITE. NO WARRANTY IS MADE FOR SUITABILITY OF SUBGRADE, AND UNDERCUT AND ANY REQUIRED REPLACEMENT WITH SUITABLE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR RESPONSIBLE FOR GEOTECHNICAL TESTING AS NECESSARY.
- EXTREME CARE SHALL BE TAKEN TO ENSURE MINIMUM SEPARATIONS AT ALL UTILITY CROSSINGS.
- CONTRACTOR TO ENSURE THAT STREET PAVEMENT IS PLACED SO AS TO DRAIN POSITIVELY TO THE ROADWAY INLETS AND CATCH BASINS.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
- THIS PLAN IS FOR SITE UTILITIES, GRADING, ROADWORK, AND DRAINAGE ONLY.
- AFFECTED NON-MUNICIPAL UTILITIES SHALL BE CONTACTED AND PROVIDED WITH PLANS AND OTHER PERTINENT INFORMATION, WHEN FEASIBLE, TO COORDINATE APPROPRIATE SCHEDULING AND PLACEMENT. AT THE MINIMUM THIS SHOULD INCLUDE AT&T AND DUKE (PROGRESS) ENERGY.
- ALL CONSTRUCTION TO CONFORM TO CITY STANDARDS AND ALL APPLICABLE STATE & LOCAL CODES.
- CONTRACTOR TO COORDINATE ANY REQUIRED TRAFFIC CONTROL WITH THE STATE AND CITY. CONTRACTOR REQUIRED FOR ANY ADDITIONAL REQUIRED PERMITS.
- CARE SHALL BE TAKEN DURING FINAL GRADING TO ENSURE POSITIVE DRAINAGE TO RECEIVING STRUCTURES. ALL STORM WATER RUNOFF FROM BUILT UPON AREAS (i.e. IMPERVIOUS SURFACES AND ROOF DRAINAGE) TO BE DIRECTED TO STORM SEWER COLLECTION SYSTEM (i.e. STORM INLETS OR PONDS) BY SWALES, OVERLAND FLOW, ADDITIONAL GRADING, OR LANDSCAPING INLETS.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ANY RELOCATIONS, REALIGNMENTS, DISCONNECTIONS OR CONNECTIONS OF EXISTING UTILITIES WITH APPLICABLE AUTHORITIES.
- CLEARING AND GRUBBING OF SITE TO INCLUDE REMOVAL OF EXISTING CURBS, ASPHALT, INLETS, AND ANY OTHER STRUCTURES INCLUDING TREES, STUMPS AND DEBRIS EXISTING ON SITE. TREES NOT REQUIRED TO BE CLEARED FOR CONSTRUCTION SHALL REMAIN UNLESS OTHERWISE DIRECTED.
- ALL SIGNS AND PAVEMENT MARKINGS SHALL MEET NCDOT AND MUTCD STANDARDS.
- SANITARY SERVICES SMALLER THAN 8" SHALL HAVE CLEANOUTS AT INTERVALS OF NOT MORE THAN 100'. CLEANOUTS SHALL BE PROVIDED FOR SERVICE LINES AND BUILDING DRAINS THAT HAVE HORIZONTAL DIRECTION CHANGES GREATER THAN 45 DEGREES.
- SEE 2018 IPC FOR FURTHER GUIDANCE ON UTILITY SERVICE REQUIREMENTS.
- PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.

**Development Notes:**

- All development shall be in accordance with the City of Wilmington Land Development Code (LDC).
- Clearing limits will be limited to what is needed to install the private access and utilities. Individual lot clearing will be to the discretion & permitting of the future lot owners.

**FIRE & LIFE SAFETY NOTES:**

- Landscaping or parking cannot block or impede fire hydrants. A 3-foot clear space shall always be maintained around the circumference of hydrants.
- Additional fire protection or accessibility requirements may be required due to any special circumstances concerning the project.

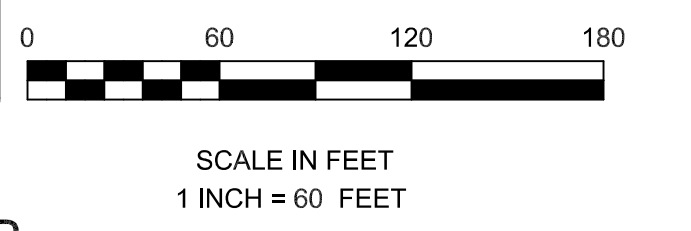
**ZONING R-15**

**PROPOSED ZONING R-15**

**LOT DIMENSIONAL REQUIREMENTS**

MINIMUM LOT AREA 15,000 S.F.  
 MINIMUM LOT WIDTH 60'  
 MAXIMUM LOT COVERAGE 50%  
 MINIMUM FRONT SETBACK 20'  
 MINIMUM REAR SETBACK 25'  
 MINIMUM SIDE SETBACK 10'  
 MINIMUM CORNER LOT SIDE SETBACK 15'  
 MAXIMUM HEIGHT 35'

**\*\*All adjacent lots are Zoned R-15 Moderate density single dwelling residential.**



OWNER: 8055 MASONBORO LLC  
 6316 MERRYWOOD DR.  
 WILMINGTON, N.C. 28409

Date: 02-21-2024  
 Scale: HORIZ. 1"= 60'  
 Drawn: ARS  
 Checked: gw  
 Project No: 15775

REVISIONS

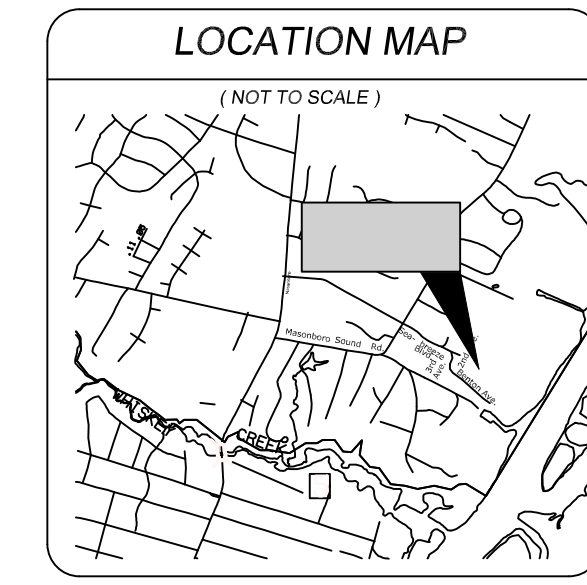
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 MASONBORO SOUND TRACT  
 NEW HANOVER COUNTY, NORTH CAROLINA

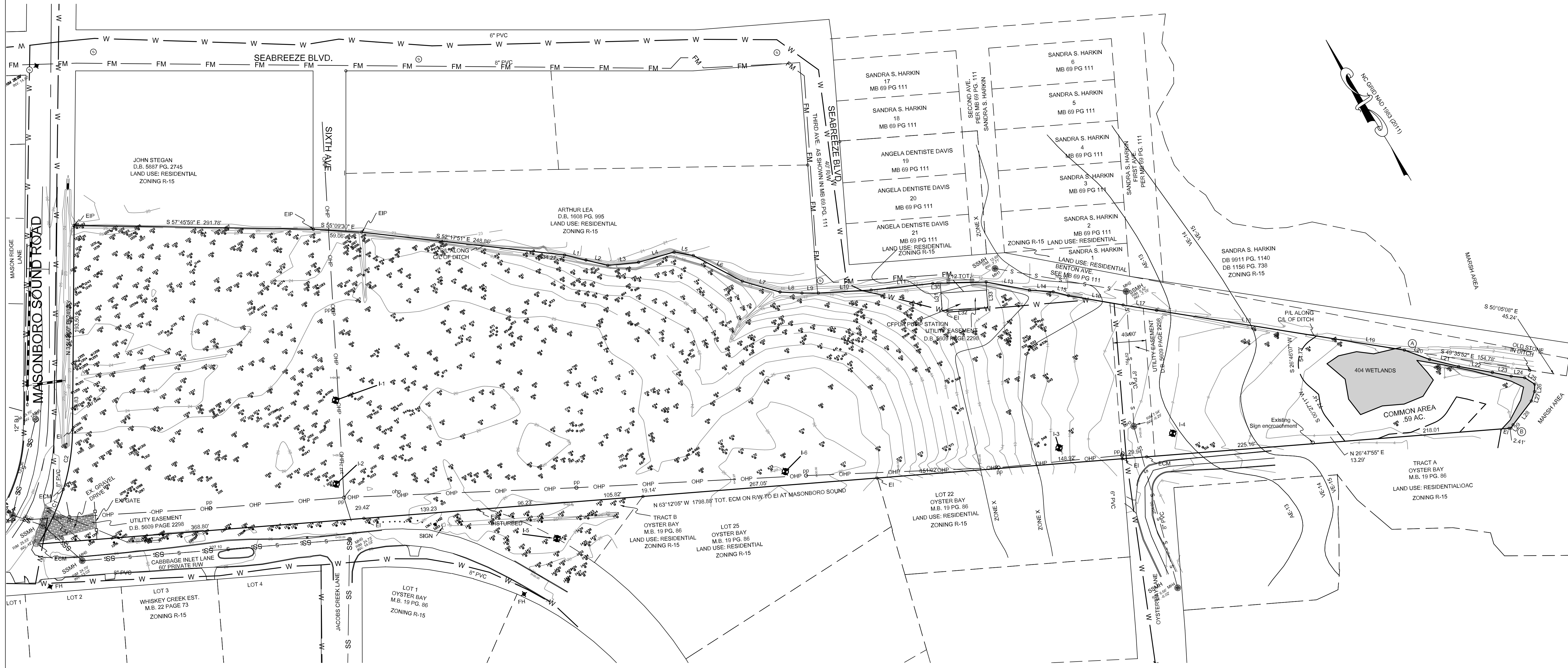
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Sheet No:  
 1 of 8

PRELIMINARY MAP



HANOVER DESIGN SERVICES, P.A.  
 LAND SURVEYORS, ENGINEERS & LAND PLANNERS  
 WILMINGTON, N.C. 28403  
 LICENSE # 02-2024



LINE	BEARING	DISTANCE
L1	S 45° 24' 28" E	28.80'
L2	S 45° 00' 20" E	47.40'
L3	S 64° 24' 51" E	37.71'
L4	S 74° 52' 16" E	45.16'
L5	S 49° 13' 47" E	23.76'
L6	S 30° 59' 49" E	67.47'
L7	S 42° 50' 47" E	47.82'
L8	S 55° 46' 56" E	26.81'
L9	S 55° 50' 30" E	20.02'
L10	S 01° 56' 51" E	64.36'
L11	S 64° 51' 17" E	75.64'
L12	S 60° 12' 03" E	65.03'
L13	S 46° 10' 51" E	53.83'
L14	S 64° 40' 22" E	43.91'
L15	S 44° 42' 52" E	19.24'
L16	S 46° 56' 01" E	67.57'
L17	S 49° 39' 51" E	41.46'
L18	S 49° 36' 55" E	220.28'
L19	S 49° 39' 17" E	65.66'
L20	S 38° 27' 46" E	52.57'
L21	S 45° 07' 33" E	36.81'
L22	S 45° 41' 55" E	41.72'
L23	S 47° 18' 01" E	23.37'
L24	S 52° 17' 11" E	16.52'
L25	S 28° 19' 23" E	14.85'
L26	S 33° 31' 10" W	9.04'
L27	S 49° 45' 56" W	12.11'
L28	S 68° 52' 05" W	36.64'
L29	S 62° 27' 28" W	4.78'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	272.57'	73.48'	73.26'	N 96° 02' 00" E	15° 20' 47"
C2	254.85'	73.61'	73.36'	N 40° 02' 19" E	16° 32' 59"

LINE	BEARING	DISTANCE
L30	S 60° 12' 03" E	6.24'
L31	S 27° 25' 35" W	33.79'
L32	S 62° 20' 40" E	55.80'
L33	N 27° 25' 35" E	31.69'

LINE	BEARING	DISTANCE
L34	S 16° 33' 16" E	44.42'
L35	N 63° 12' 05" W	152.92'

**LEGEND**  
 E.I.P. = EXISTING IRON PIPE  
 E.I. = EXISTING IRON  
 E.C.M. = EXISTING CONCRETE MONUMENT  
 RW = RIGHT OF WAY

- NOTES**
1. AREA COMPUTED BY COORDINATE METHOD
  2. ALL DISTANCES ARE HORIZONTAL
  3. FOR REFERENCE SEE D.B. 6519 PG. 2798.
  4. SURVEYED JANUARY OF 2022
  5. 10.09 ACRES TOTAL AREA
  6. POINT A - B APPROX. MEAN HIGH WATER LINE.
  7. 0.18 ACRE WETLANDS.

**PROPERTY LINE** \_\_\_\_\_  
**BUILDING SETBACK** \_\_\_\_\_  
**CENTERLINE** \_\_\_\_\_  
**EASEMENT** \_\_\_\_\_  
**COMPUTED PROPERTY LINE** \_\_\_\_\_

NO.	REVISIONS	DATE

OWNER: 8055 MASONBORO LLC  
 6316 MERRYWOOD DR.  
 WILMINGTON, N.C. 28409

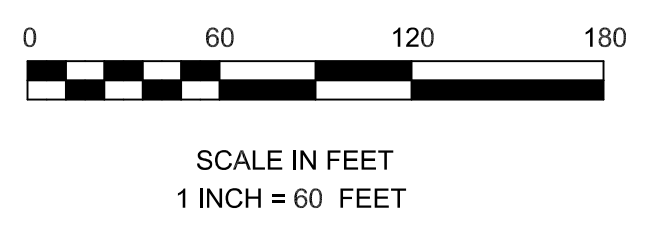
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**MASONBORO SOUND TRACT**  
 NEW HANOVER COUNTY, NORTH CAROLINA

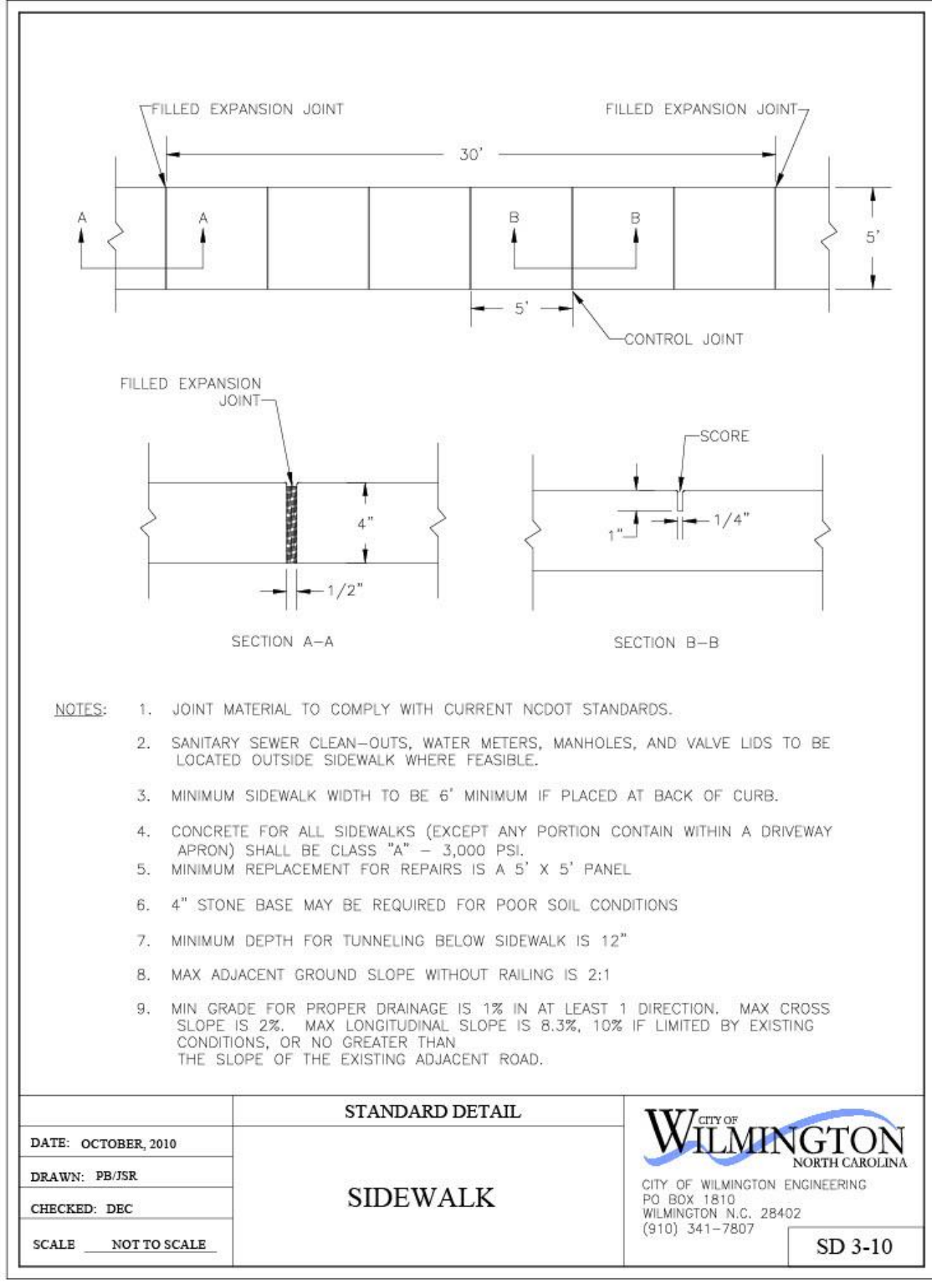
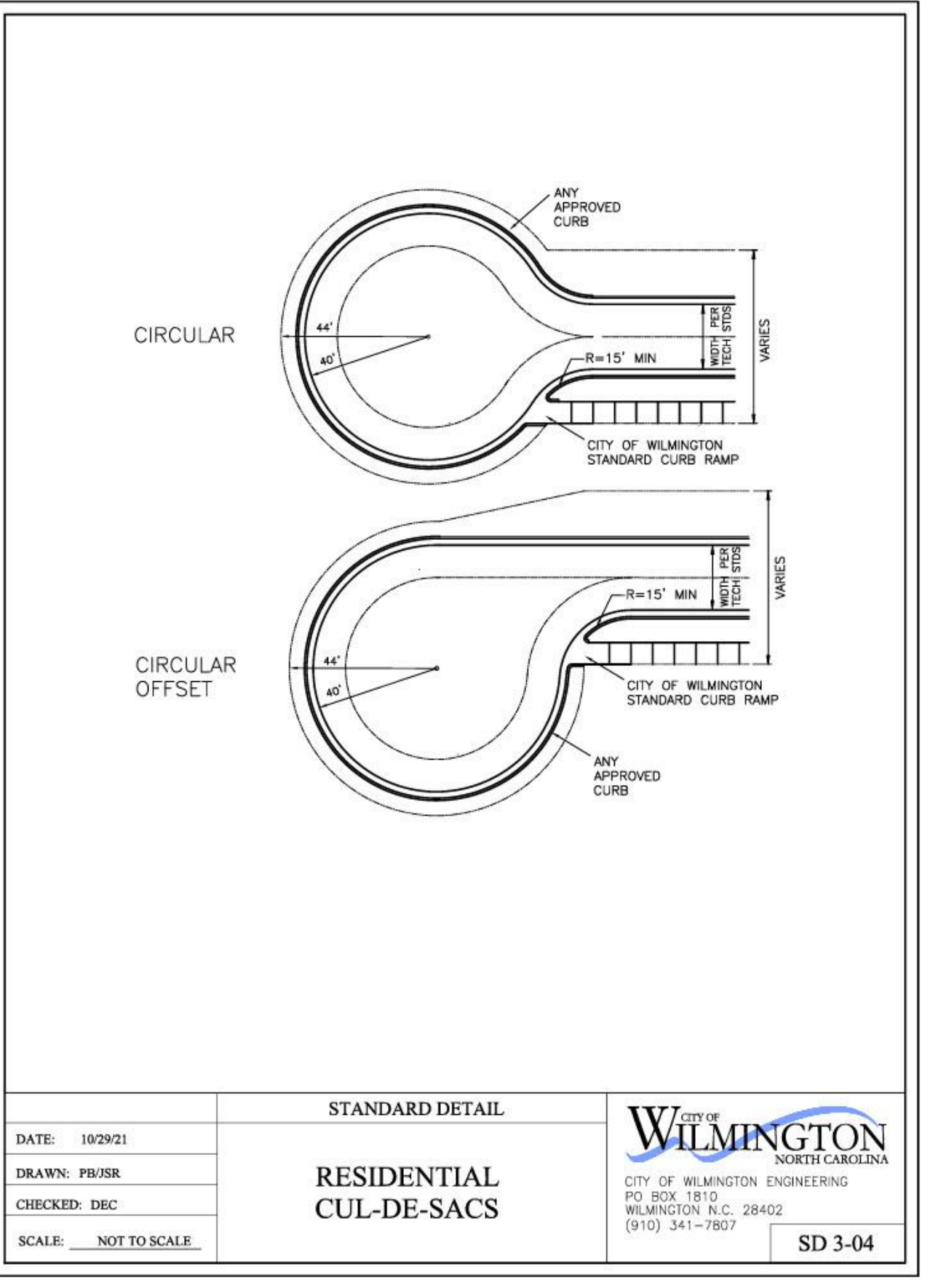
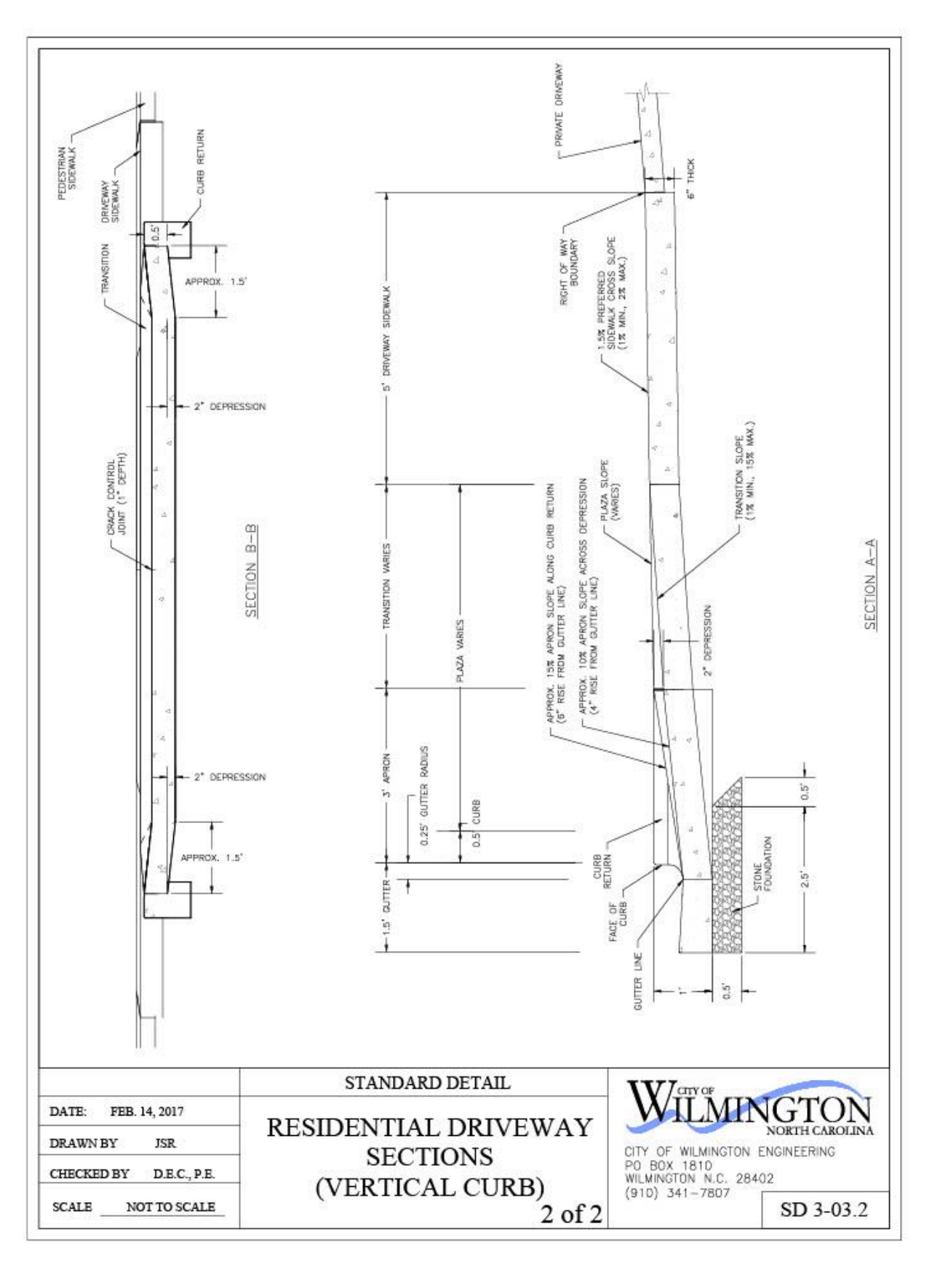
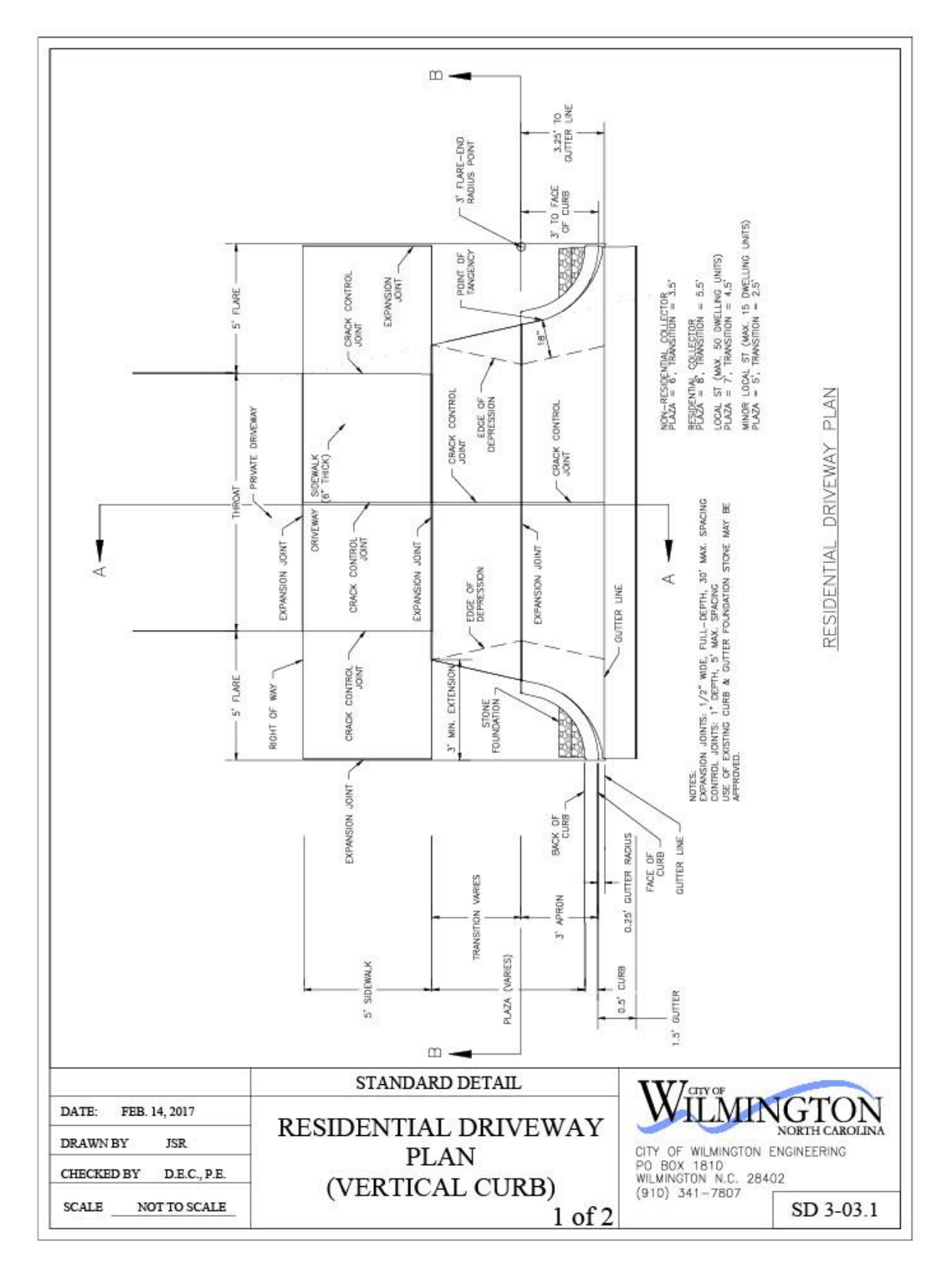
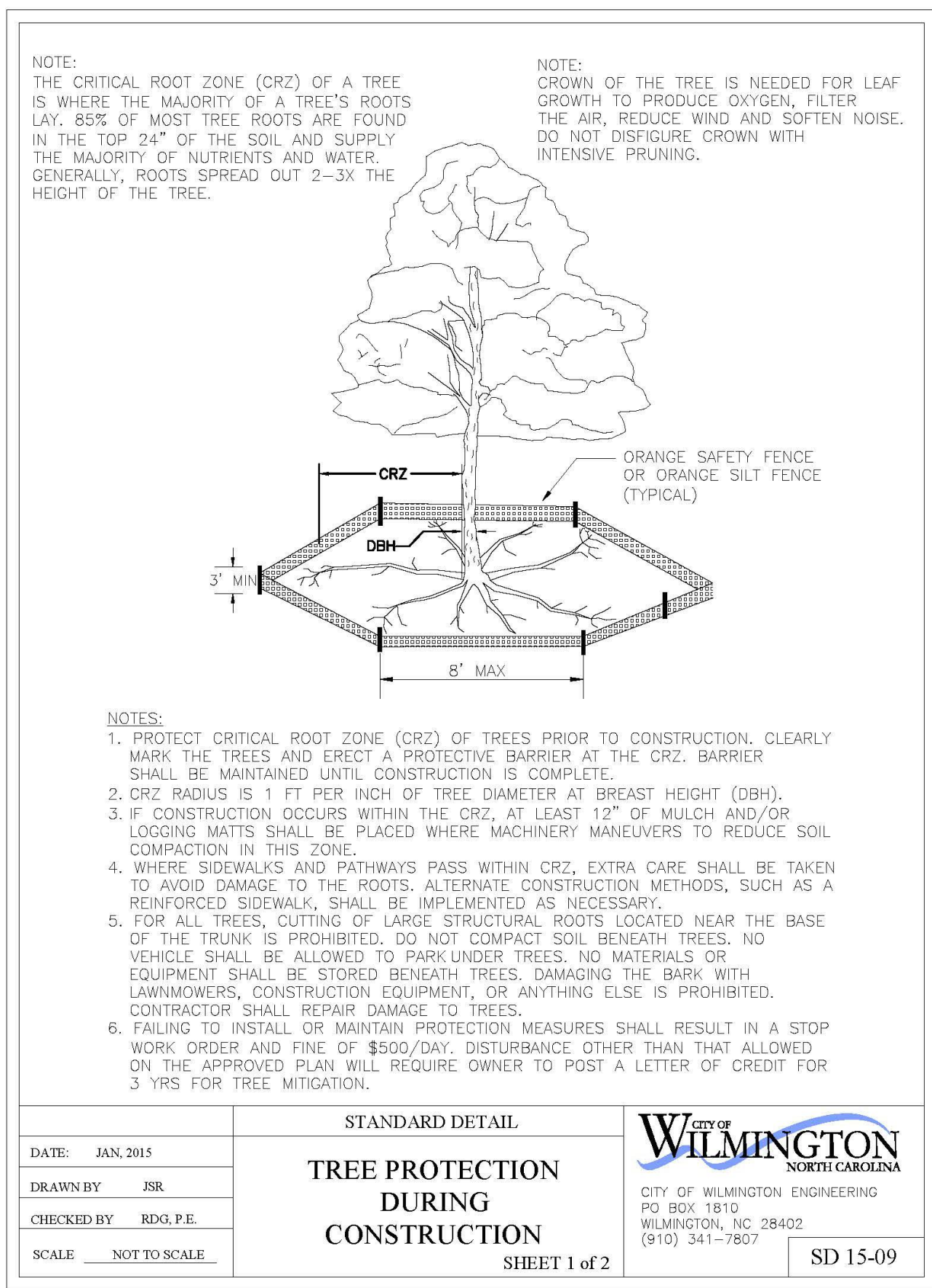
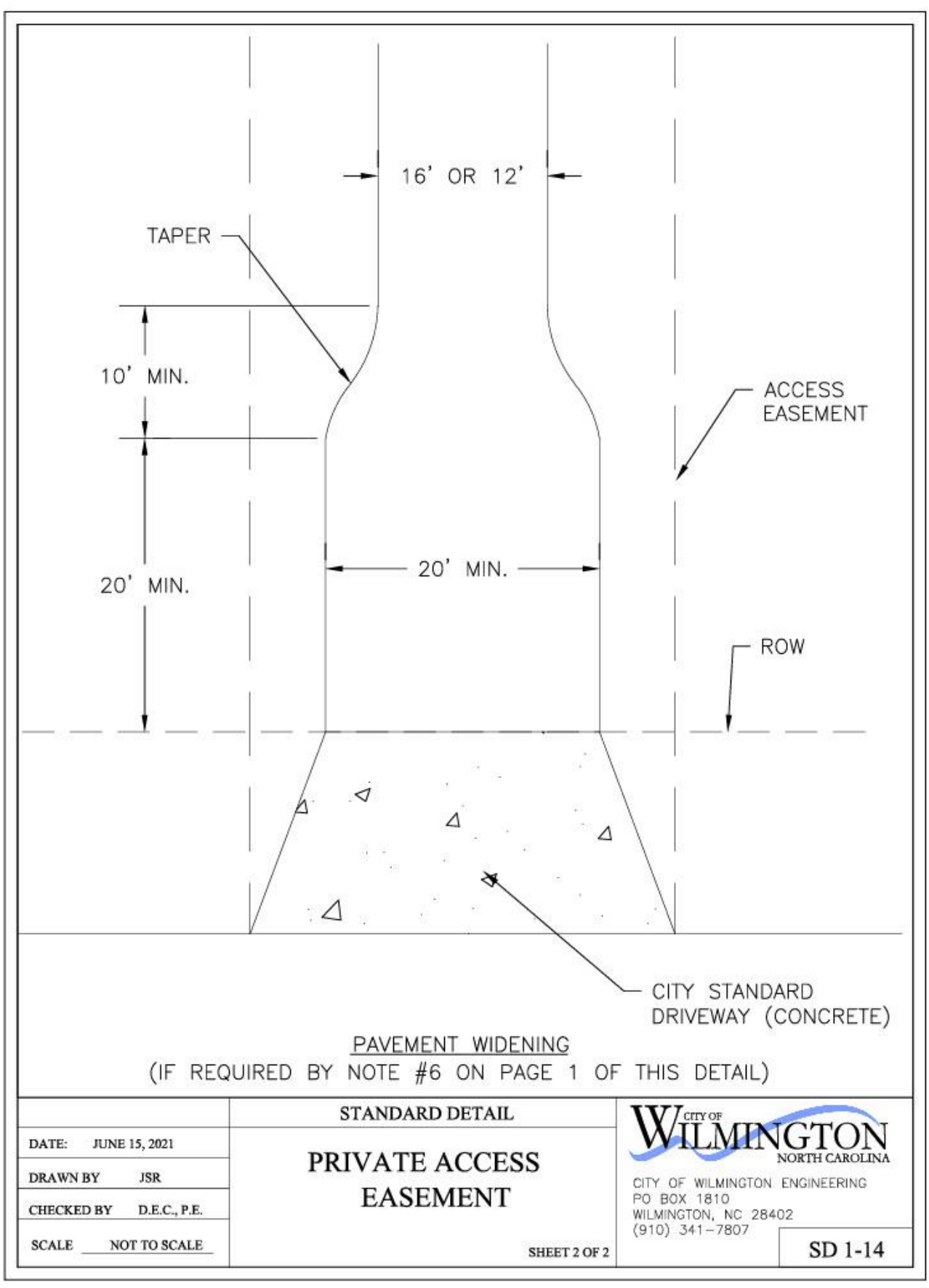
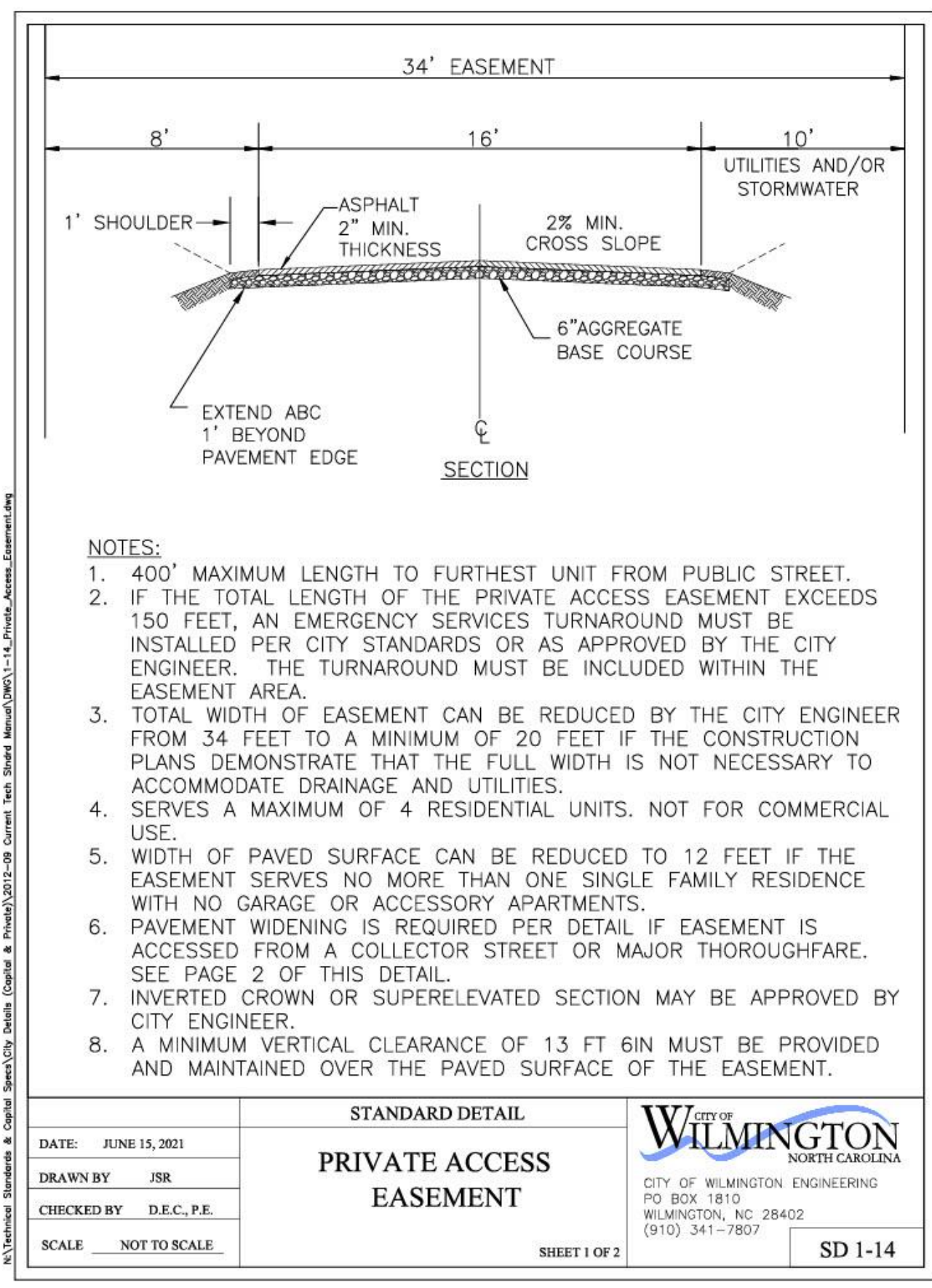
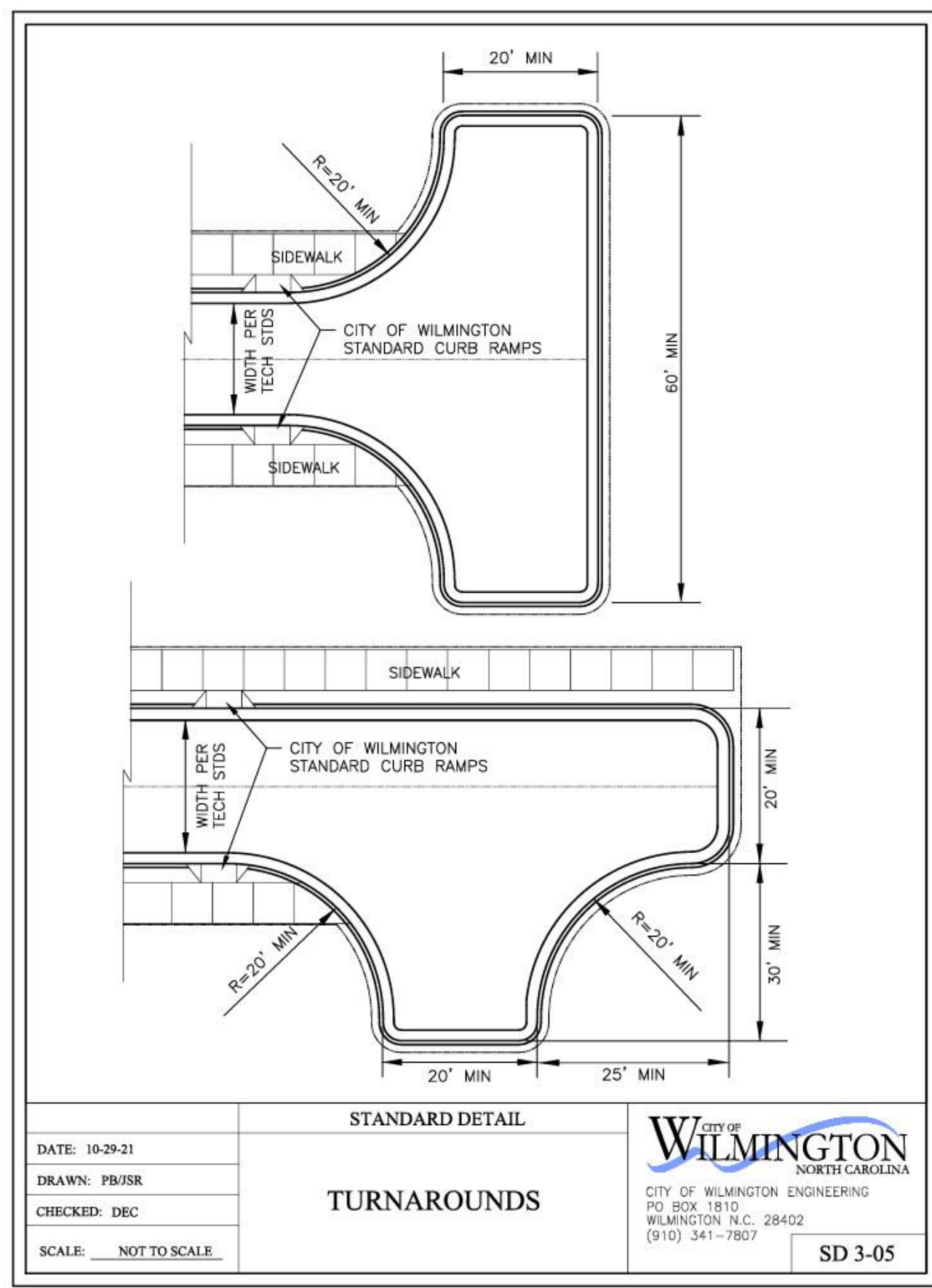
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 Scale: HORIZ. 1" = 60'  
 Drawn: gw  
 Checked: gw  
 Project No: 15775

**MAP OF SURVEY**

Sheet No:  
**2 of 8**

PRELIMINARY MAP





**HANOVER DESIGN SERVICES, P.A.**  
LAND SURVEYORS, ENGINEERS & LAND PLANNERS  
WILMINGTON, N.C. 28402  
LICENSE # 02-207

NO.	DATE	REVISIONS

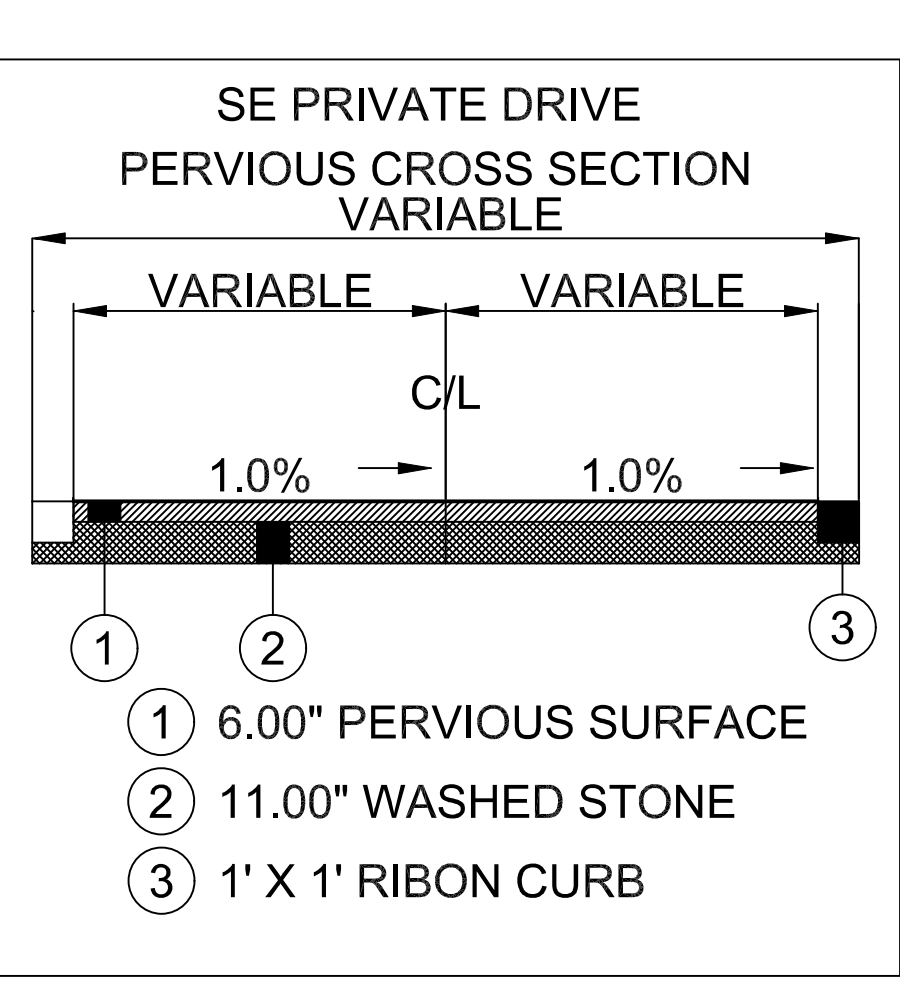
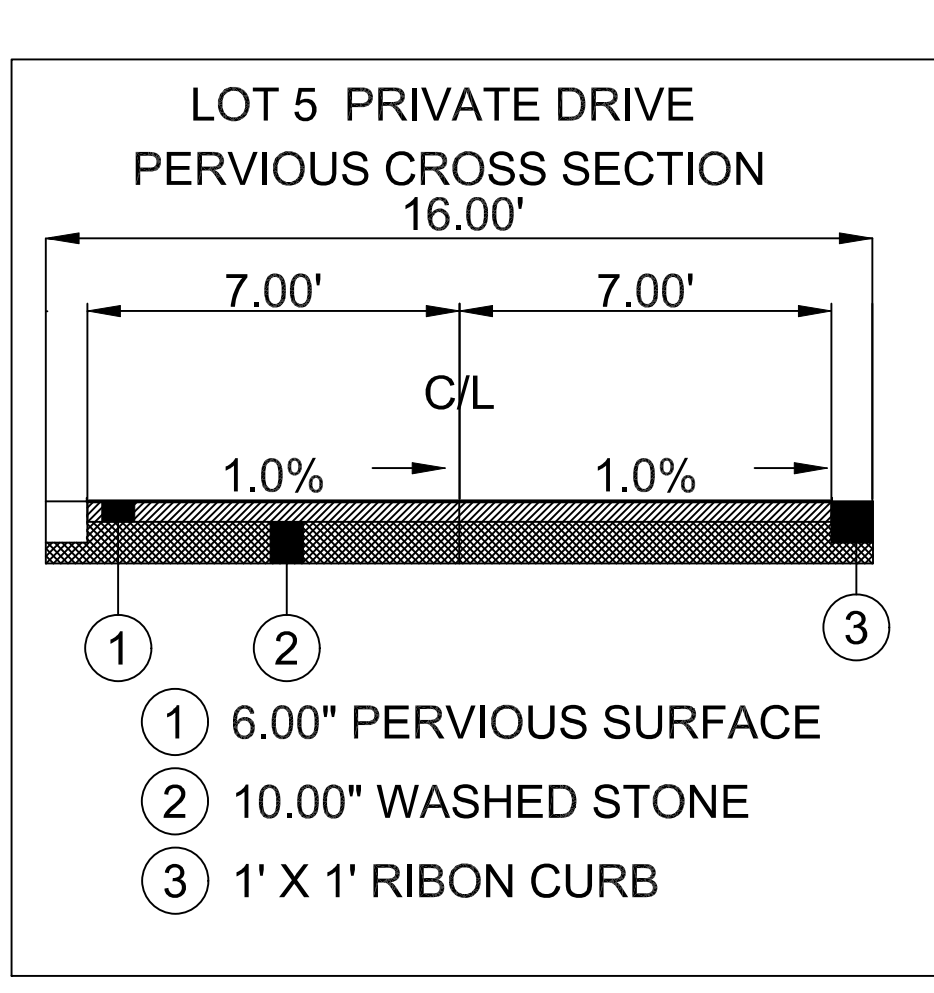
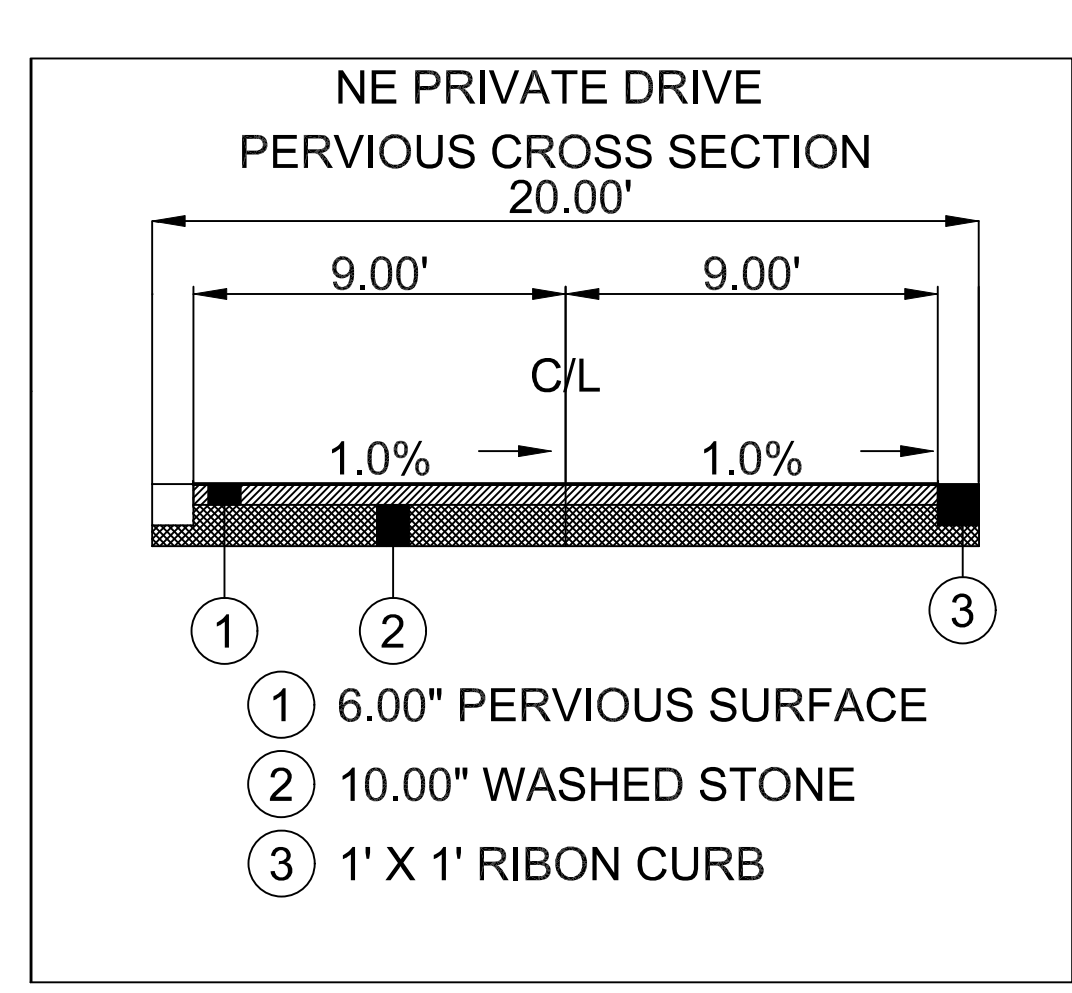
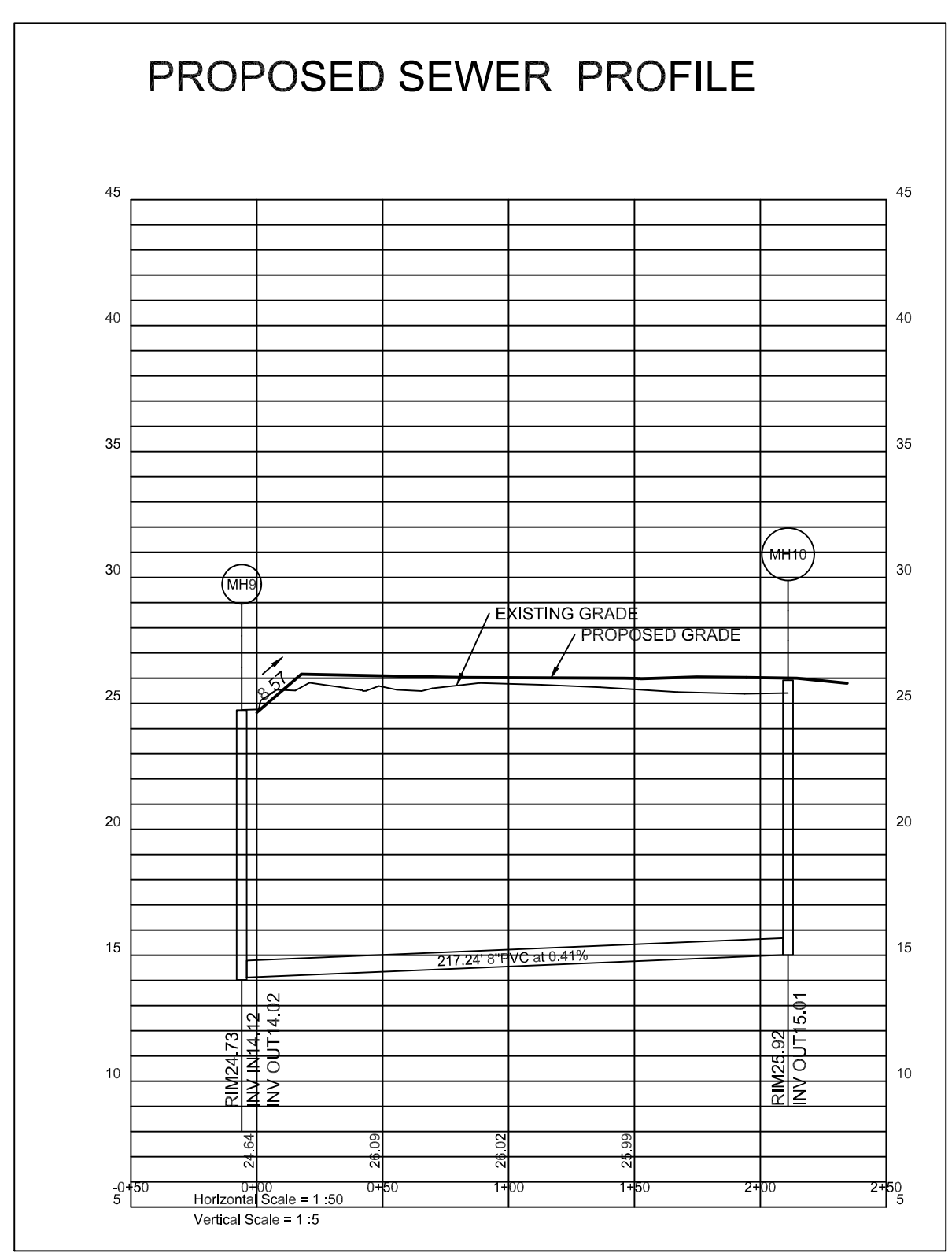
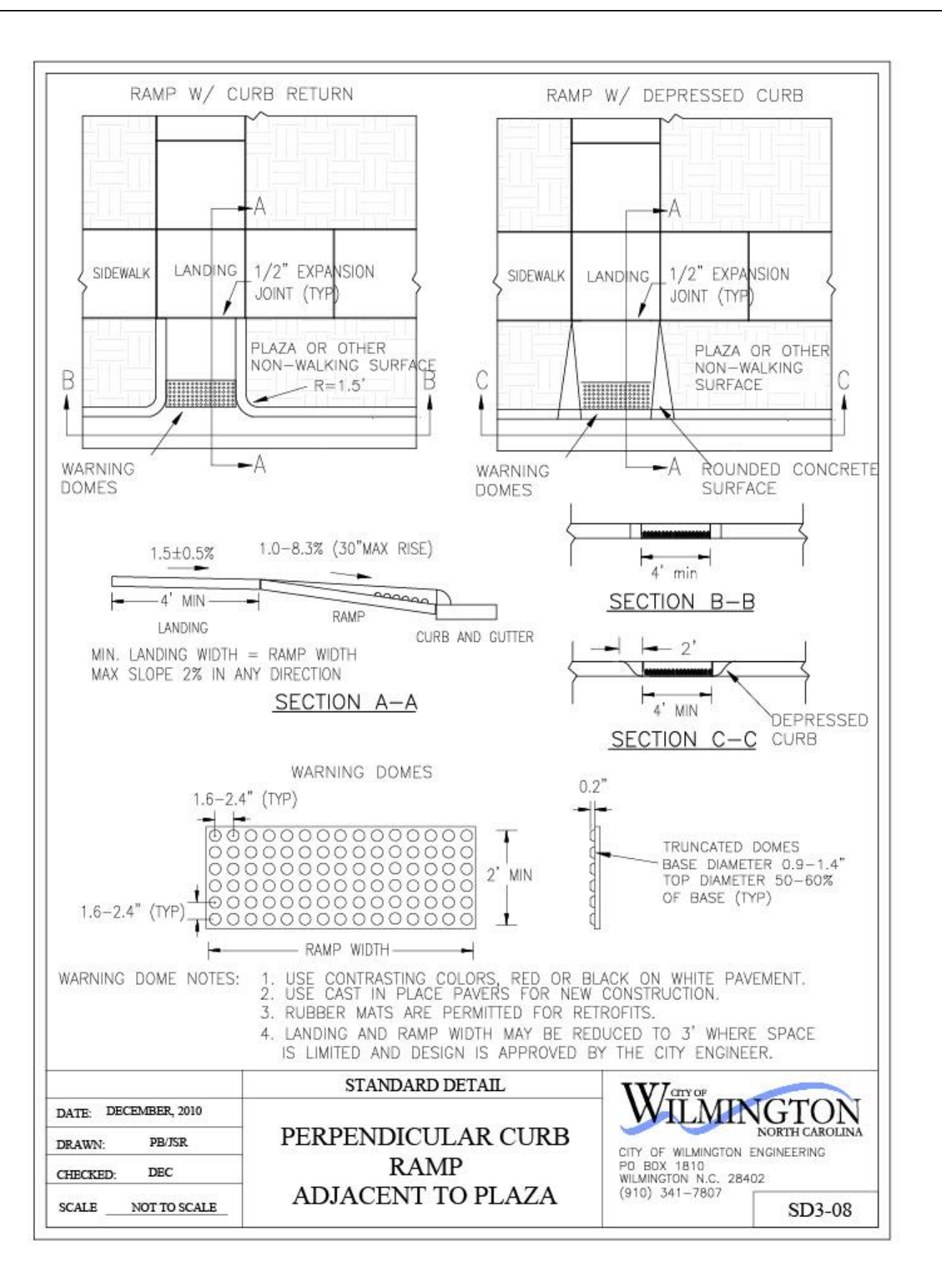
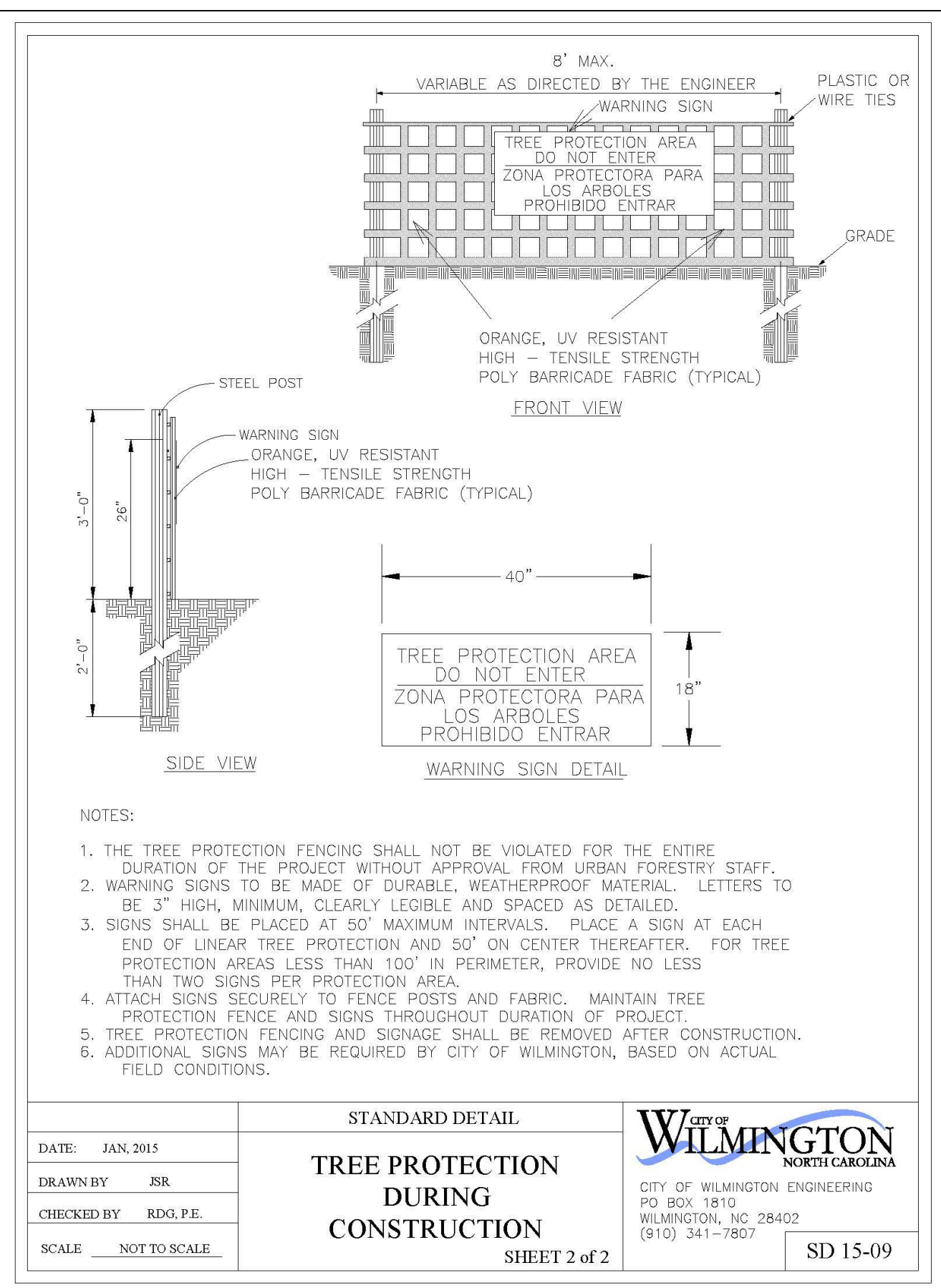
**8055 MASONBORO LLC**  
**MASONBORO SOUND TRACT**  
NEW HANOVER COUNTY, NORTH CAROLINA  
OWNER: 8055 MASONBORO LLC  
6316 MERRYWOOD DR.  
WILMINGTON, N.C. 28409

DATE: 02-21-2024  
SCALE: HORZ: 1"=60'  
DRAWN: ARS  
CHECKED: AHG  
PROJECT NO: 15775

**DETAILS**

Sheet No:  
D-1  
OF  
D-3

PRELIMINARY



**HANOVER DESIGN SERVICES, P.A.**  
 LAND SURVEYORS, ENGINEERS & LAND PLANNERS  
 WILMINGTON, N.C. 28403  
 LICENSE # 02-207

**8055 MASONBORO LLC**  
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 Checked: AHG  
 Project No: 15775

**DETAILS**

Sheet No: D-2 OF D-3

**PRELIMINARY**

**CITY STANDARD NOTES:**

1. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
2. ANY TREES AND / OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
3. NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.

- TRAFFIC ENGINEERING**
4. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY, MUTCD, AND/OR NCDOT STANDARDS
  5. ONCE STREETS ARE OPEN TO TRAFFIC, CONTACT TRAFFIC ENGINEERING TO REQUEST INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
  6. TRAFFIC CONTROL DEVICES INCLUDING SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
  7. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN.
  8. CONTACT 811 PRIOR TO ANY EXCAVATION. CALL TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
  9. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
  10. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
  11. STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
  12. TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
  13. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. IN CERTAIN CASES ENTIRE RESURFACING OF THE OPEN CUT AREA MAY BE REQUIRED.
  14. ANY BROKEN OR MISSING SIDEWALK/DRIVEWAY PANELS OR CURBING SHALL BE REPLACED WHETHER DAMAGED DURING CONSTRUCTION OR DAMAGE WAS EXISTING.
  15. PRIOR TO ENTERING ANY AGREEMENT REGARDING THE SALE OF A HOUSE OR LOT IN A SUBDIVISION, THE BUYER MUST RECEIVE A STREET DISCLOSURE STATEMENT
  16. ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SITE LINES FROM 30' TO 10'
  17. CONTACT THE CITY AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS. PROPOSED APPROXIMATE LOCATIONS SHOWN ON PLANS.
  18. STREET LIGHTS SHALL BE DEP ENCLOSED CUTOFF (COBRA TYPE), HIGH PRESSURE SODIUM VAPOR (HPSV) OR DESIGNATED LED EQUIVALENT FIXTURE INSTALLED WITHIN THE RECOMMENDED RANGE OF MOUNTING HEIGHTS FOR THE SPECIFIC FIXTURE. THE STANDARD STREET LIGHT SHALL BE INSTALLED ON A FIBERGLASS POLE. CITY TECHNICAL STANDARDS FOR FURTHER DETAIL.

**GENERAL UTILITY NOTES**

19. WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) DETAILS AND SPECIFICATIONS.
20. PROJECT SHALL COMPLY WITH CAPE FEAR PUBLIC UTILITY AUTHORITY CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS CANNOT BE EXPOSED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 343-3910 FOR INFORMATION.
21. IF THE CONTRACTOR DESIRES CPFLA WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
22. ANY IRRIGATION SYSTEM SUPPLIED BY CPFLA WATER SHALL COMPLY WITH CPFLA CROSS CONNECTION CONTROL REGULATIONS. CALL 343-3910 FOR INFORMATION.
23. ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZER SENSOR.
24. ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CPFLA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFCOCHR OR ASSE.
25. CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
26. CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
27. UNDERGROUND FIRE LINES MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0698.
28. CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO ANY DIGGING, CLEARING OR GRADING.
29. ANY PVC MAINS ARE TO BE MARKED WITH NO. 10 INSULATED COPPER WIRE INSTALLED THE ENTIRE LENGTH AND ATTACHED TO THE PIPE AND STRIPPED TO BARE WIRE AND SECURED TO ALL VALVES AND FITTINGS. ACCESSIBLE IN ALL VALVE AND METER BOXES. ALL WATER MAINS SHALL MAINTAIN A MINIMUM OF 3' OF COVER.

**ADDITIONAL NOTES CONT.:**

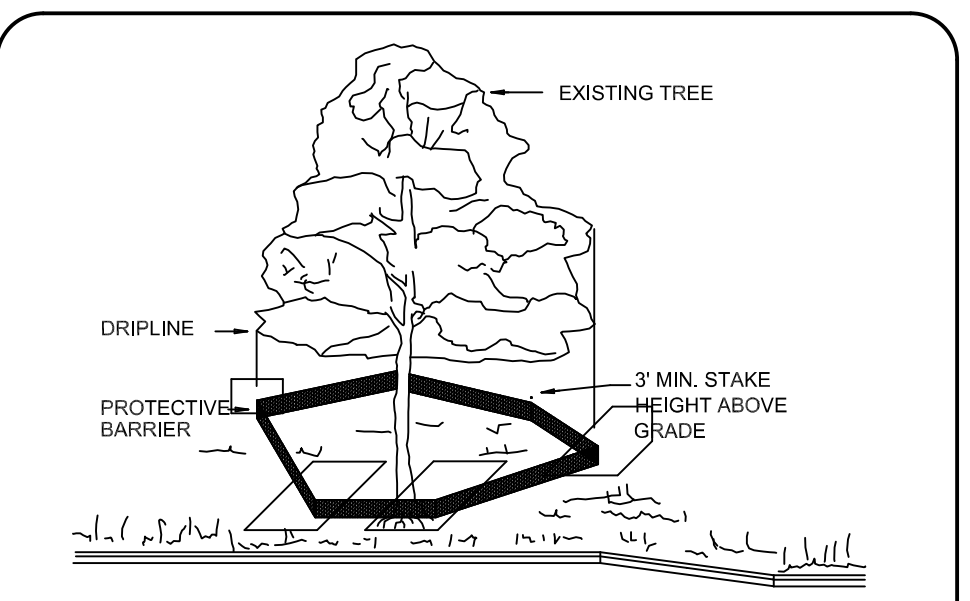
14. Portions of this property is located within a special flood hazard area according to Flood Insurance Rate Map Community Panel #3720314500K, effective date August 28, 2018.
15. Handicap Ramps shall be provided at all intersections.
16. Landscaping is to be preserved or planted in accordance with City of Wilmington standards.
17. Refuse collection by roll out trash cans and private hauler.
18. Reflectors shall Be Installed As Per City And NCDOT Standards.
19. Per the requirements of the stormwater permit, the following shall occur prior to issuance of a certificate of occupancy or operation of the permitted facility.
  - \*As-built drawings for all stormwater management facilities shall be submitted to the city of Wilmington engineering division.
  - \*An engineer's certification shall also be submitted, along with all supporting documentation that specifies, under seal that the as-built stormwater measures, controls and devices are in compliance with the approved stormwater management plans.
  - \*A final inspection by city of Wilmington engineering personnel.
20. All required assessment maps shall be reviewed by city staff and recorded prior to issuance of a certificate of occupancy.

**ADDITIONAL UTILITY/GRADING NOTES**

1. CARE SHALL BE TAKEN DURING FINAL GRADING TO ENSURE POSITIVE DRAINAGE TO RECEIVING STRUCTURES. ALL STORM WATER RUNOFF FROM BUILT UPON AREAS (i.e. IMPERVIOUS SURFACES AND ROOF DRAINAGE) TO BE DIRECTED TO STORM SEWER COLLECTION SYSTEM (i.e. STORM INLETS OR PONDS) BY SWALES, OVERLAND FLOW, ADDITIONAL GRADING, OR LANDSCAPING INLETS.
2. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ANY RELOCATIONS, REALIGNMENTS, DISCONNECTIONS OR CONNECTIONS OF EXISTING UTILITIES WITH APPLICABLE AUTHORITIES.
3. CLEARING AND GRUBBING OF SITE TO INCLUDE REMOVAL OF EXISTING CURB, ASPHALT, INLETS, AND ANY OTHER STRUCTURES INCLUDING TREES, STUMPS AND DEBRIS EXISTING ON SITE. TREES NOT REQUIRED TO BE CLEARED FOR CONSTRUCTION SHALL REMAIN UNLESS OTHERWISE DIRECTED.
4. MINIMUM SEPARATION SHALL BE MAINTAINED AS FOLLOWS:
  - a. HORIZONTAL CLEARANCE OF 10 FEET BETWEEN SANITARY SEWER AND WATER MAINS.
  - b. HORIZONTAL CLEARANCE OF 10 FEET BETWEEN STORM SEWER AND WATER MAINS.
  - c. WHERE VERTICAL CLEARANCE IS LESS THAN 18" BETWEEN SANITARY SEWER AND WATER OR WHERE SEWER LINE CROSSES ABOVE WATER MAIN, BOTH PIPES SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING.
  - d. WHERE VERTICAL CLEARANCE IS LESS THAN 24" BETWEEN SANITARY SEWER AND STORM DRAIN, SANITARY SEWER SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING.
  - e. WHERE VERTICAL CLEARANCE IS LESS THAN 18" BETWEEN WATER MAIN AND STORM DRAIN, WATER MAIN SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING.
4. SEE DETAIL SHEETS FOR TYPICAL UTILITIES HOOKUPS.
5. ALL STREETS ARE PROPOSED TO BE PUBLIC (BUILT TO CITY OF WILMINGTON STANDARDS/ N.C.D.O.T. PAVEMENT AND SUBGRADE STANDARDS).
6. ALL SANITARY SEWER MAINS TO BE 8" UNLESS OTHERWISE INDICATED.
7. ALL WATER MAINS TO BE 8" UNLESS OTHERWISE INDICATED.
8. TWO VALVES ARE REQUIRED AT T" INTERSECTIONS AND ONE VALVE ON THE WATER LINE TO FIRE HYDRANTS.
9. A BLOW-OFF VALVE IS REQUIRED AT THE TERMINUS OF ALL "DEAD END" WATER LINES.
10. SANITARY SEWER, STORM, WATER, AND OTHER PERTINENT DETAILS/SPECIFICATIONS TO BE PROVIDED WITH CONSTRUCTION PLANS AND SHALL MEET OR EXCEED CITY AND CPFLA DESIGN STANDARDS

**ADDITIONAL NOTES:**

1. THIS MAP IS PRELIMINARY. NOT INTENDED FOR RECORDATION, SALES, OR CONVEYANCE.
2. ALL DISTANCES AS SHOWN ARE HORIZONTAL.
3. SEWER PROVIDED BY CPFLA
4. WATER PROVIDED BY CPFLA
5. SITE WILL MEET ALL ZONING REQUIREMENTS.
6. REGULATED TREES ON SITE TO BE PRESERVED AS SHOWN.
7. STRIPING AND LANES TO CITY STANDARDS (THERMOPLASTIC).
8. NO VEHICULAR ACCESS TO SITE EXCEPT AS SHOWN.
9. ALL UTILITIES UNDERGROUND.
10. LANDSCAPING AND LIGHTING PLAN BY OTHERS.
11. CONTRACTOR TO COORDINATE STAGING OF CONSTRUCTION ACTIVITIES WITH THE OWNER AND ARCHITECT TO FACILITATE ONGOING ADJOINING BUSINESS ACTIVITIES.
12. CONTRACTOR TO COORDINATE REMOVAL AND RELOCATION OF LIGHTING AND OTHER NON-MUNICIPAL UTILITIES SUCH AS ELECTRICAL, AND TELEPHONE CONNECTIONS WITH THE AFFECTED AGENCIES AND THE OWNER AND ARCHITECT.
13. ALL SERVICES TO BE INSTALLED IN ACCORDANCE WITH CITY OF WILMINGTON and CPFLA TECHNICAL STANDARDS.



TREES TO BE SAVED WILL BE CLEARLY MARKED PRIOR TO CONSTRUCTION AND A PROTECTIVE BARRIER IS TO BE INSTALLED AT THE DRIPLINE. DRIP LINE - THE AREA OF SOIL DIRECTLY BENEATH THE TREE EXTENDING OUT TO THE TIPS OF THE OUTERMOST BRANCHES.

**METHOD OF TREE PROTECTION DURING CONSTRUCTION**

- NOT TO SCALE
- TREE PROTECTION DURING CONSTRUCTION**
1. DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO HEAVY MATERIALS SHALL BE STORED BENEATH TREES. RESULTS OF COMPACTION CAUSE WATER AND AIR NOT TO REACH THE ROOTS AND THE TREE WILL DIE. THESE "FEEDING ROOTS" OCCUR WELL AWAY FROM THE BASE OF THE TREE TO THE EDGE OF THE OVERHEAD BRANCH CANOPY. DAMAGING THE BANK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. PROTECTIVE BARRIER SHOULD PREVENT DAMAGE FROM OCCURRING DURING CONSTRUCTION.
  2. NO CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK. THESE ARE ESSENTIAL IN SUPPORTING THE TREE AND HOLDING IT UPRIGHT IN HIGH WINDS. REMOVAL OF THESE ROOTS ALONG ONE SIDE IS OFTEN DONE BECAUSE OF A WALK, PARKING OR BUILDING WHICH IS BEING CONSTRUCTED.
  3. AVOID CUT AND FILL WITHIN DIAMETER OF TREE CROWN DURING EXCAVATION.

- TREE PLANTING INSTRUCTIONS**
- Along with soil preparation, following proper planting techniques and maintenance will ensure healthy, durable vegetation, and increase the rate of growth. The following recommendations apply to inground and container plantings. General practices include:
- The planting hole should be a minimum of twice as wide as the root ball.
  - The depth of the planting hole should be approximately two inches less than the bottom of the root system. Do not dig deeper than the root ball.
  - Remove any strapping, wire, plastic, or paper and remove the top half of any burlap, fabric or wire basket from the root ball.
  - Loosen, cut, or remove roots that have become pot bound (compacted, matted, kinked, or are circled around the root ball) and ensure the root flare is exposed.
  - Fill 1/3 of the hole and pack soil around the base of the root ball.
  - Instead of compacting soil with a shovel or foot, use water to settle the soil by adding a layer of soil and then watering. Repeat with a layer of soil and watering until the hole has been completely backfilled.
  - Mutch to a depth of 2-3 inches.

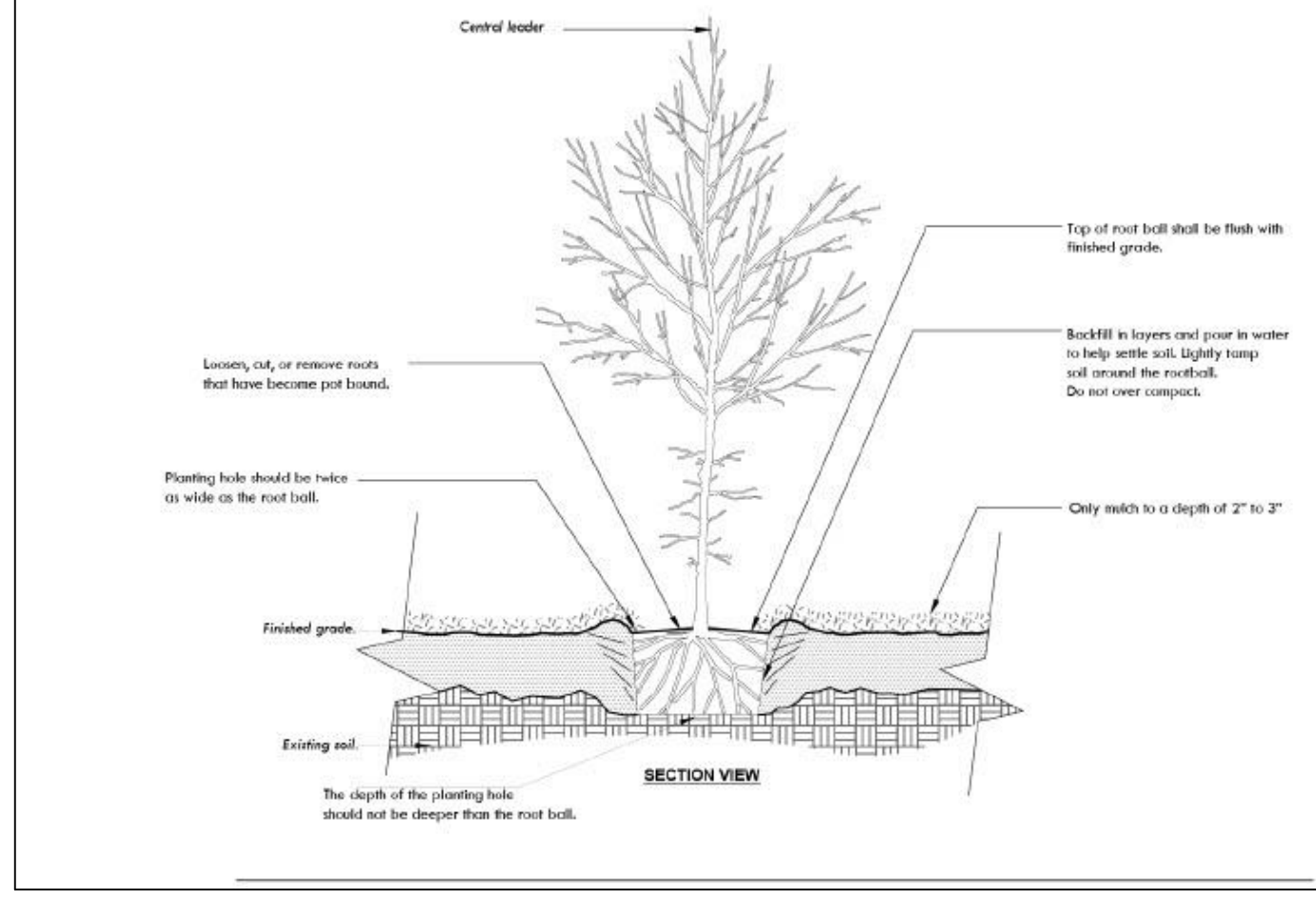
**GENERAL NOTES:**

1. Any required installation or relocation of traffic signs/ pavement markings is the responsibility of the project developer. Please coordinate with the City Traffic Signs and pavement markings Manager/Supervisor prior to any installation/relocation of any traffic signs or markings in existing or proposed public ROW.
2. All pavement markings in public right-of-way and for driveways are to be thermoplastic and meet City and/or NCDOT standards. (Detail SD 11-03 and SD 15-13 Co/W Tech Stds.)
3. All signs and pavement markings in areas open to public traffic are to meet MUTCD standards. (Detail SD 15-13Co/W Tech Stds)
4. All traffic control signs and markings off the right-of-way are to be maintained by the property owner in accordance with MUTCD standards.
5. All parking stall markings and lane arrows within the parking area shall be white.
6. Any broken or missing sidewalk panels and curbing will be replaced.
7. Contact 811 prior to contacting City of Wilmington, Traffic Engineering regarding the utilities in ROW.
8. Contact Traffic Engineering at (910) 341-7888 to discuss street light options.
9. Contractor shall maintain an all-weather access for emergency vehicles at all times during construction.
10. Landscaping or parking cannot block or impede FDC's or fire hydrants. A 3-foot clear space shall always be maintained around the circumference of hydrants and FDC's.
11. Additional fire protection and/or accessibility requirements may be required due to any special circumstances concerning the project.
12. No parking spaces, fences, walls, post, lights, shrubs, trees, or other type of obstructions not specifically exempt shall be permitted in the space between 30 inches and above ground and 10 feet above ground level within a triangular sight distance.

**ADDITIONAL STORM WATER NOTES:**

1. ALL STORM WATER RUNOFF FROM BUILT UPON AREAS (I.E. IMPERVIOUS SURFACES AND ROOF DRAINAGE) TO BE DIRECTED TO THE STORM SEWER COLLECTION SYSTEM (I.E. STORM INLETS OR PONDS) BY SWALES, OVERLAND FLOW, ADDITIONAL GRADING OR LANDSCAPE INLETS.
2. CONTRACTOR TO ENSURE THAT STREET PAVEMENT AND CURBING IS PLACED TO DRAIN POSITIVELY TO CURB INLETS AND DRAINAGE STRUCTURES.
3. FOR STORM PIPE MATERIAL AND INSTALLATION SEE DETAILS AND NCDOT STANDARD DRAWINGS 300.01 SHEETS 1-3. FOR RIGID PIPE WITH LESS THAN 2' OF COVER USE CLASS IV RCP.
4. ROOF DRAINS SHALL BE SIZED ACCORDING TO THE 2018 INTERNATIONAL PLUMBING CODE AND ALL SHALL CONFORM TO ANY LOCAL REQUIREMENTS
5. ANY ROOF DRAIN LOCATIONS SHOWN HERE ARE APPROXIMATE AND MAY BE FIELD ADJUSTED AS LONG AS THE MINIMUM REQUIRED SLOPE IS MAINTAINED.

**TREE PLANTING DETAIL**  
SEE TREE PLANTING INSTRUCTIONS



PRELIMINARY

**NOTE WELL:**

ANY AREAS ON-SITE WITHOUT ACTIVITY SHALL BE STABILIZED WITHIN 15 WORKING DAYS OR 21 CALENDAR DAYS AND AS ABOVE. ALL SLOPES MUST BE STABILIZED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY ACTIVITY.

DETAILS SHOWN ARE TYPICAL OF INSTALLATIONS REQUIRED BY THE TOWN AND COUNTY. THIS SHEET DOES NOT PURPORT TO SHOW ALL REQUIRED CONSTRUCTION DETAILS, BUT RATHER SERVES AS A GUIDE. THE CONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL CITY, COUNTY AND STATE CODES AND CONSTRUCTION STANDARDS.

No geotechnical testing has been performed on site. No warranty is made for suitability of subgrade, and undercut and any required replacement with suitable material shall be the responsibility of the contractor.

**GENERAL NOTES:**

1. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES AT ALL CROSSINGS PRIOR TO COMMENCING TRENCH EXCAVATION. IF ACTUAL CLEARANCES ARE LESS THAN INDICATED ON PLAN, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. ANY CONDITION DISCOVERED OR EXISTING THAT WOULD NECESSITATE A MODIFICATION OF THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
2. NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "NO ONE-CALL" AT LEAST 48 HOURS BEFORE COMMENCING CONSTRUCTION.
3. ALL TREES WHICH ARE NOT REQUIRED TO BE CLEARED FOR CONSTRUCTION SHALL BE PRESERVED WHEREVER POSSIBLE UNLESS OTHERWISE DIRECTED.
4. CONTRACTOR SHALL ADJUST ALL MANHOLES, VALVE AND CURB BOXES TO THE FINAL GRADE UPON COMPLETION OF ALL CONSTRUCTION. ANY BOXES DAMAGED OR OTHERWISE DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
5. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST AND EROSION DURING CONSTRUCTION AT HIS EXPENSE. PARKING AREAS SHALL BE WATERED TO CONTROL DUST WHEN ORDERED BY THE ENGINEER.
6. NO GEOTECHNICAL TESTING HAS BEEN PERFORMED ON SITE. NO WARRANTY IS MADE FOR SUITABILITY OF SUBGRADE AND UNDERCUT AND ANY REQUIRED REPLACEMENT WITH SUITABLE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR RESPONSIBLE FOR GEOTECHNICAL TESTING AS NECESSARY.
7. EXTREME CARE SHALL BE TAKEN TO ENSURE MINIMUM SEPARATIONS AT ALL UTILITY CROSSINGS.
8. CONTRACTOR TO ENSURE THAT STREET PAVEMENT IS PLACED SO AS TO DRAIN POSITIVELY TO THE ROADWAY INLETS AND CATCH BASINS.
9. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
10. THIS PLAN IS FOR SITE UTILITIES, GRADING, ROADWORK, AND DRAINAGE ONLY.
11. AFFECTED NON-MUNICIPAL UTILITIES SHALL BE CONTACTED AND PROVIDED WITH PLANS AND OTHER PERTINENT INFORMATION, WHEN FEASIBLE, TO COORDINATE APPROPRIATE SCHEDULING AND PLACEMENT. AT THE MINIMUM THIS SHOULD INCLUDE AT&T AND DUKE (PROGRESS) ENERGY.
12. ALL CONSTRUCTION TO CONFORM TO CITY STANDARDS AND ALL APPLICABLE STATE & LOCAL CODES.
13. CONTRACTOR TO COORDINATE ANY REQUIRED TRAFFIC CONTROL WITH THE STATE AND CITY. CONTRACTOR RESPONSIBLE FOR ANY ADDITIONAL REQUIRED PERMITS.
14. CARE SHALL BE TAKEN DURING FINAL GRADING TO ENSURE POSITIVE DRAINAGE TO RECEIVING STRUCTURES. ALL STORM WATER RUNOFF FROM BUILT UPON AREAS (i.e. IMPERVIOUS SURFACES AND ROOF DRAINAGE) TO BE DIRECTED TO STORM SEWER COLLECTION SYSTEM (i.e. STORM INLETS OR PONDS) BY SWALES, OVERLAND FLOW, ADDITIONAL GRADING, OR LANDSCAPING INLETS.
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17. ALL SIGNS AND PAVEMENT MARKINGS SHALL MEET NCDOT AND MUTCD STANDARDS
18. SANITARY SERVICES SMALLER THAN 8" SHALL HAVE CLEANOUTS AT INTERVALS OF NOT MORE THAN 100'. CLEANOUTS SHALL BE PROVIDED FOR SERVICE LINES AND BUILDING DRAINS THAT HAVE HORIZONTAL DIRECTION CHANGES GREATER THAN 45 DEGREES.
19. SEE 2018 IPC FOR FURTHER GUIDANCE ON UTILITY SERVICE REQUIREMENTS.
20. PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.

**STABILIZATION TIME FRAMES:**

SITE AREA DESCRIPTION	STABILIZATION
Perimeter ditches, swales, ditches and slopes	<b>7 DAYS</b>
High quality Water (HVO) Zones	<b>7 DAYS</b>
Slopes steeper than 3:1	<b>7 DAYS</b>
Slopes 3:1 or flatter	<b>14 DAYS</b>
All other areas with slopes flatter than 4:1	<b>14 DAYS</b>

**HANOVER DESIGN SERVICES, P.A.**  
LAND SURVEYORS, ENGINEERS & LAND PLANNERS  
WILMINGTON, N.C. 28403  
LICENSE # 00000000

DATE

REVISIONS

DATE

OWNER: 8055 MASONBORO LLC  
6316 MERRYWOOD DR.  
WILMINGTON, N.C. 28409

DATE: 02-21-2024  
SCALE: HORZ.: 1"= 60'

PROJECT NO: 15775

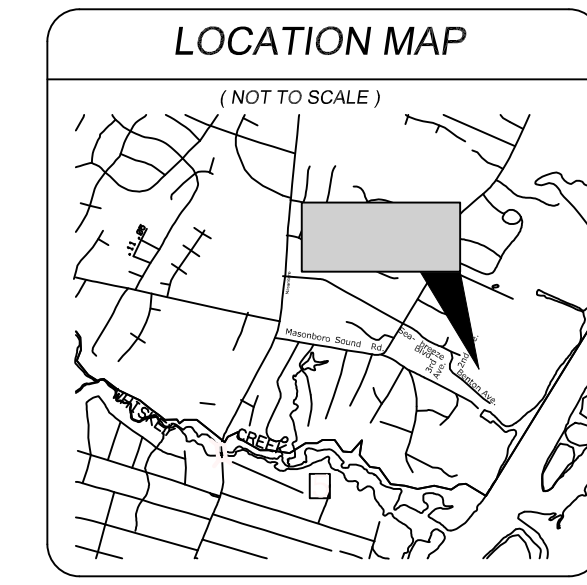
DRWING: ARS  
CHECKED: AHG

DETAILS

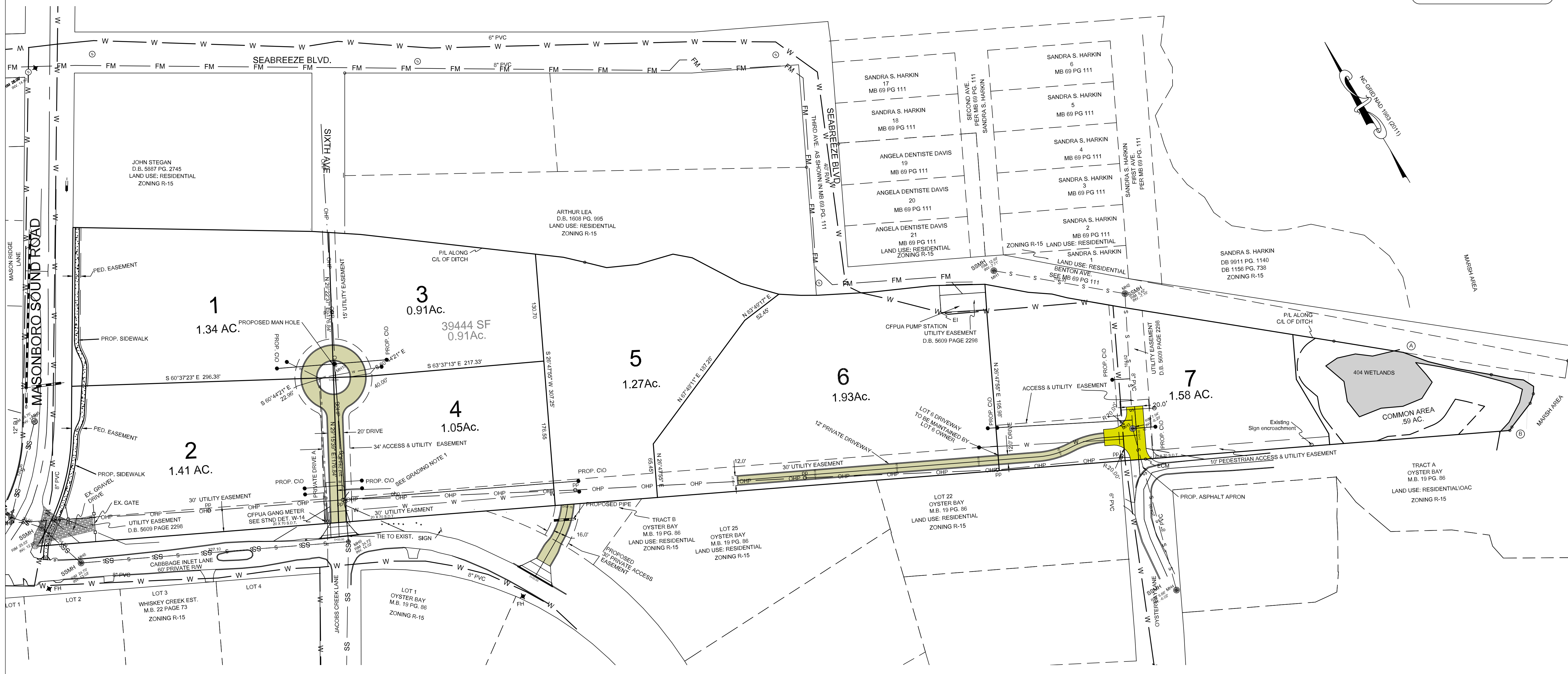
8055 MASONBORO LLC  
MASONBORO SOUND TRACT  
NEW HANOVER COUNTY, NORTH CAROLINA

DETAILS

Sheet No:  
**D-3**  
OF



HANOVER DESIGN SERVICES, P.A.  
LAND SURVEYORS, ENGINEERS & LAND PLANNERS  
WILMINGTON, N.C. 28403  
LICENSE # 000002  
EXPIRES 6/30/2024



LEGEND	
WV = WATER VALVE	PROPERTY LINE
WM = WATER METER	BUILDING SETBACK
CIO = SANITARY SEWER CLEAN OUT	CENTERLINE
INV. = INVERT	EASEMENT
B/O = BLOW OFF ASSEMBLY	COMPUTED PROPERTY LINE
BFP = BACK FLOW PREVENTOR	EXISTING CONTOUR
GW = GUY WIRE	SANITARY SEWER
SWMH = STORM MANHOLE	PROPOSED SANITARY SEWER
FH = FIRE HYDRANT ASSEMBLY	
I.S. = IRON SET	
(S) = SANITARY SEWER MH	
(T) = TREE	
(X) = TREE TO BE REMOVED	
(W) = WATER SERVICE	
(SC) = SEWER CLEANOUT	
(V) = WATER VALVE	
(S) = SIGN LOCATION	

**General Notes:**  
1. New Hanover County Parcel Nos.: PID: R07205-002-006-000 MAPID: 314515.62.0694.000  
2. Project Tract Area: 10.09 ac.  
3. CAMA Land Classification: Watershed Resource Protection

**Utility Notes:**  
1. Show utilities as taken from CFPWA GIS, and all have not been field located.  
2. Existing water and sanitary sewer services are currently available to the site from Cape Fear Public Utility Authority public mains.  
3. Electric power is currently overhead supply.  
4. All water & sewer utilities to be installed per CFPWA Technical Specifications & Standards.  
5. Project shall comply with CFPWA Cross Connection Control requirements. Water meters cannot be released until all requirements are met and N.C.D.E.N.R. has issued their "Final Approval". Call 343-3910 for information.  
6. Any backflow prevention devices required by the CFPWA will need to be on the list of approved devices by USFCCOHS or ASSE.  
7. If contractor designs CFPWA water for construction, he shall apply in advance for this service and must provide a reduced pressure zone (RPZ) backflow prevention device on the developer's side of the water meter box.  
8. The contractor is responsible for the location and protection or existing utilities during construction. Call U-LOCC at 1-800-632-4949. Contractor is responsible for the repair and replacement of any utilities, curb & gutter, pavement, etc. that may be damaged during construction. Damaged items shall be repaired to at least the quality or workmanship found in the original item.

**Site Inventory Notes:**  
1. Soils Types: La(Lakeand Sand) (Lx(Lawn Sand)) (Lx(Lawn Haven Fine Sand)) (Mx(Murville Fine Sand))  
2. The site drainage flows into the Brasley Creek watershed / SC class waters.

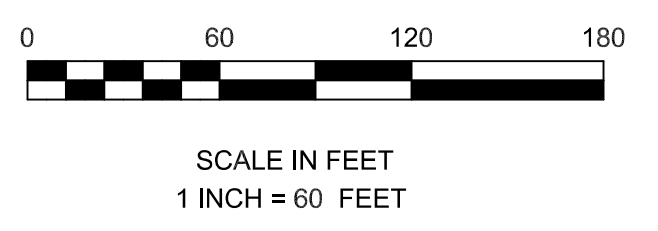
**Stormwater Management Notes:**  
1. Stormwater management will meet City & State requirements.

**Tree Preservation Notes:**  
1. Tree Preservation / Removal Permit is required prior to clearing & land disturbance.  
2. Prior to any clearing, grading or construction activity, tree protection fencing will be installed around protected trees or groves of trees and no construction workers, tools, materials, or vehicles are permitted within the tree protection fencing.  
3. Protective fencing is to be maintained throughout the duration of the project. Land clearing and construction contractors shall receive adequate instruction on tree protection requirements and methods.  
4. Label protective fencing with signs to be placed every 50 linear feet, or at least two (2) per acre, in both English & Spanish "Tree Protection Area: Do Not Enter".

**SITE DATA:**  
FLOOD ZONE: AE 13, AE 14, AE 15  
COUNTY: NEW HANOVER  
CID: 370171  
PANEL: 3145  
MAP NUMBER: 3720314500K  
PANEL EFFECTIVE DATE: 8/28/2022

**Surface Waters:**  
Stream Index: 18-87-25.7  
Stream Name: Masonboro Sound ORW Area  
Classification: SA/ORW  
Date of Class.: December 31, 1989  
River Basin: White Oak

**ZONING R-15**  
PROPOSED ZONING R-15  
LOT DIMENSIONAL REQUIREMENTS  
MINIMUM LOT AREA: 15,000 S.F.  
MINIMUM LOT WIDTH: 80'  
MAXIMUM LOT COVERAGE: 50%  
MINIMUM FRONT SETBACK: 20'  
MINIMUM REAR SETBACK: 25'  
MINIMUM SIDE SETBACK: 10'  
MINIMUM CORNER LOT SIDE SETBACK: 15'  
MAXIMUM HEIGHT: 35'  
  
\*\*All adjacent lots are Zoned R-15 Moderate density single dwelling residential.



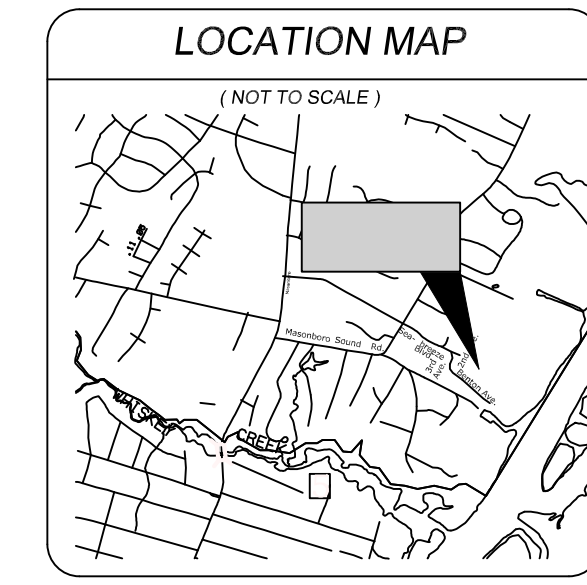
PRELIMINARY MAP

NO.	REVISIONS	DATE

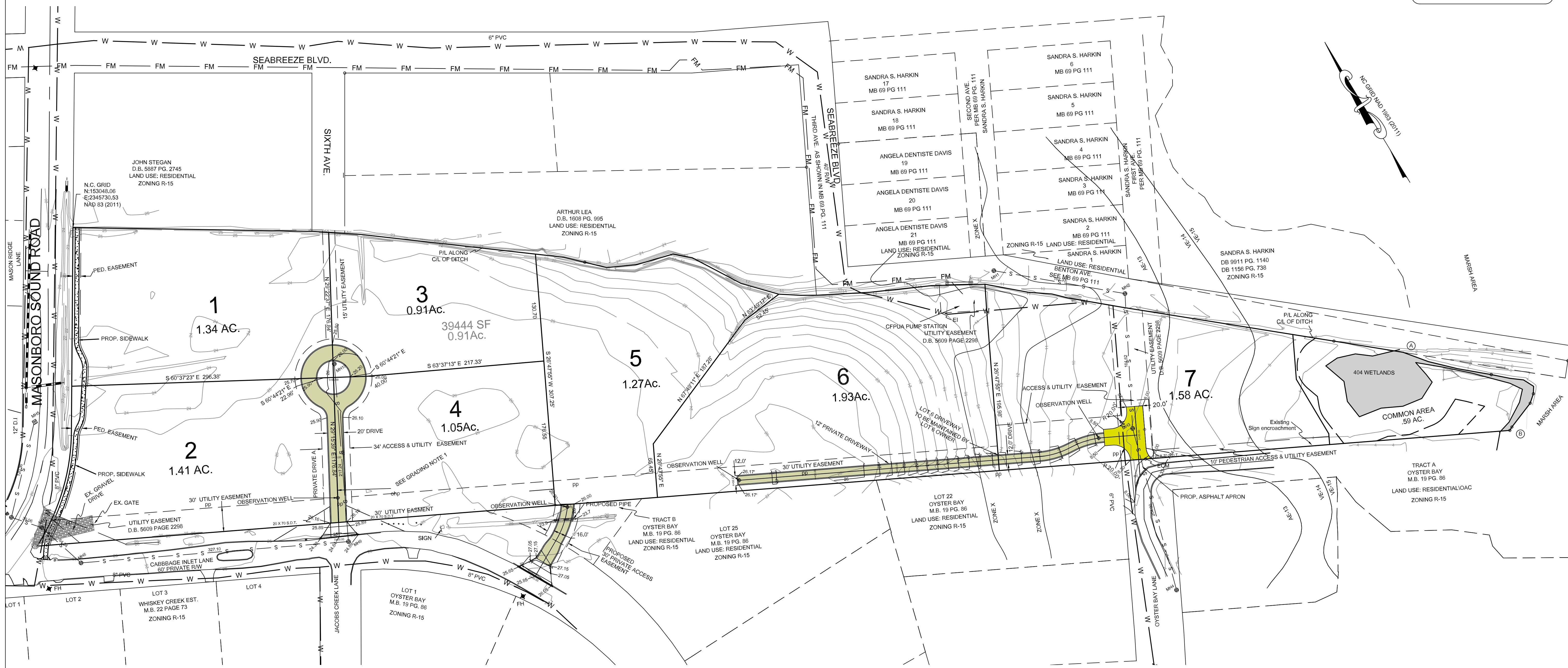
OWNER: 8055 MASONBORO LLC  
6316 MERRYWOOD DR.  
WILMINGTON, N.C. 28409  
  
DATE: 2-21-24  
SCALE: HORZ.: 1" = 60'  
DRAWN: gw  
CHECKED: gw  
PROJECT NO: 15775

UTILITIES PLAN  
**8055 MASONBORO LLC**  
**MASONBORO SOUND TRACT**  
NEW HANOVER COUNTY, NORTH CAROLINA

**UTILITIES**

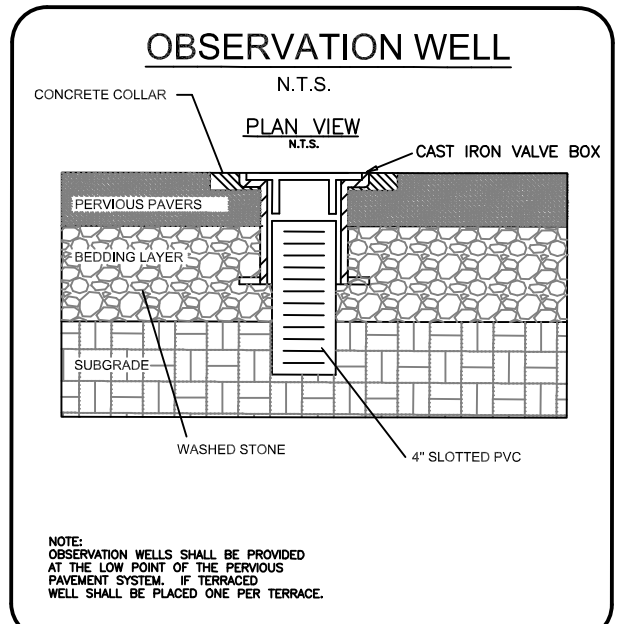
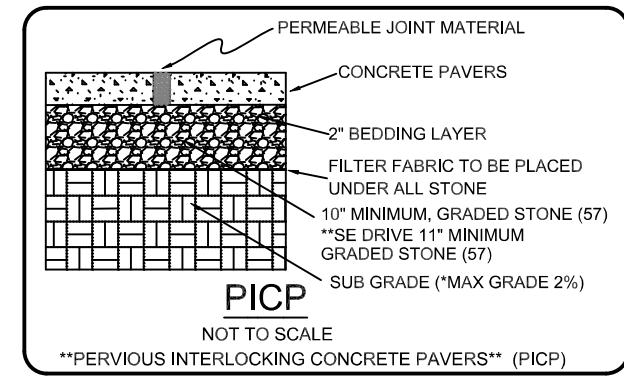
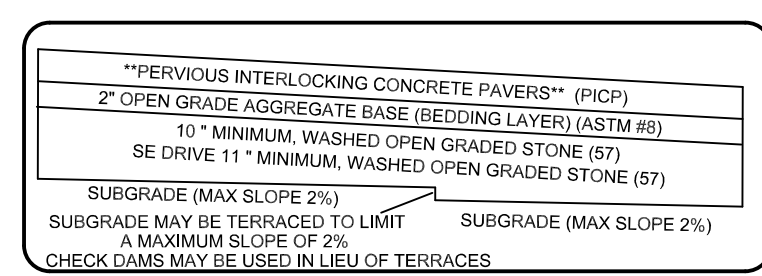


HANOVER DESIGN SERVICES, P.A.  
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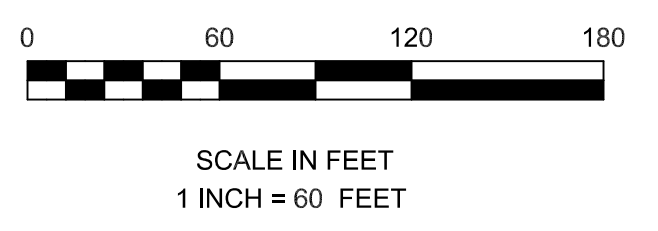


**ADDITIONAL PICP NOTES**

- PAVEMENT SURFACE SHALL HAVE A MINIMUM INFILTRATION RATE OF 50 IN/HR
- PAVER THICKNESS MAY BE REDUCED OR INCREASED BASED ON GEOTECHNICAL ENGINEERS RECOMMENDATIONS
- MAXIMUM SOIL SUBGRADE SLOPE SHALL BE 2%. SUBGRADE MAY BE TERRACED OR GRADED BERMS MAY BE USED TO ACHIEVE A SLOPE LESS THAN OR EQUAL TO 2%
- OBSERVATIONS WELLS SHALL BE PROVIDED AT THE LOW POINT OF THE SYSTEM
- IF SYSTEM IS TERRACED THERE SHALL BE ONE OBSERVATION WELL PER TERRACE
- AGGREGATE BASE SHALL BE COMPRISED OF WASH STONE. PERCENT VOIDS SHALL BE 30%-40%
- THE AREA ADJACENT TO THE PICP SHALL BE GRADED TO DIVERT RUNOFF FROM ALL OTHER AREAS
- SOIL SUBGRADES SHALL NOT BE GRADED WHEN SATURATED, ONLY GRADE WHEN DRY
- PICP SHALL BE PROTECTED AND KEPT FREE FROM DEBRIS DURING CONSTRUCTION
- PICP SHALL BE INSPECTED QUARTLY AND ANY DEFICIENCIES REPAIRED
- CONTRACTOR IS RESPONSIBLE FOR GEOTECHNICAL TESTING AS NECESSARY
- CONTRACTOR IS RESPONSIBLE FOR FOLLOWING ALL MANUFACTURING INSTALLATION GUIDELINES

**GRADING NOTE:**

1. A 1" +/- thick layer of hardpan was observed at I-1. It should be removed and replaced with suitable soil when encountered during driveway construction.



PRELIMINARY MAP

NO.	REVISIONS	DATE

OWNER: 8055 MASONBORO LLC  
6316 MERRYWOOD DR.  
WILMINGTON, N.C. 28409

Date: 2-21-24  
Scale: HORZ. 1" = 60'  
Drawn: gw  
Checked: AHG  
Project No: 15775

**GRADING PLAN**

Sheet No:  
**7 of 8**

